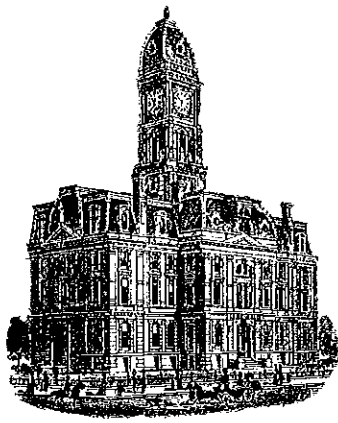


Kew



SURVEYOR'S OFFICE  
**Hamilton County**

*Kenton C. Ward, CFM*  
*Surveyor of Hamilton County*  
*Phone (317) 776-8495*  
*Fax (317) 776-9628*

*Suite 188*  
*One Hamilton County Square*  
*Noblesville, Indiana 46060-2230*

October 2, 2015

To: Hamilton County Drainage Board

Re: Little Eagle Creek Drain, Maple Village/Sonoma Section 9 Arm

Attached is a petition filed by Maple Knoll Developer, LLC, along with a non-enforcement request, plans, calculations, quantity summary and assessment roll for the Maple Village 9 Arm, Little Eagle Creek Drain to be located in Washington Township. I have reviewed the submittals and petition and have found each to be in proper form.

I have made a personal inspection of the land described in the petition. Upon doing so, I believe that the drain is practicable, will improve the public health, benefit a public highway, and be of public utility and that the costs, damages and expenses of the proposed drain will probably be less than the benefits accruing to the owners of land likely to be benefited. The drain will consist of the following:

12" RCP	192 ft.	15" RCP	327 ft.
18" RCP	1,455 ft.	21" RCP	63 ft.
24" RCP	432 ft.	6" SSD	4,743 ft.

The total length of the drain will be 7,212 feet.

Included in the footage above is 22 feet of 12" RCP that will replace 19 feet of 12" RCP that is part of the Maple Village Section 5 Arm from Str. 740 to Str. 739 per the as-built plans for Maple Village Section 5. The 19 feet will be removed from the Section 5 Arm total length.

The retention ponds (Lake #1 and existing Lake) located in Common Area #9-2 and #9-1 are to be considered part of the regulated drain, as other prior retention ponds in Maple Village are also part of the regulated drain. Pond maintenance assumed by the Drainage Board shall include the inlet and outlet as part of the regulated drain. The maintenance of the ponds (Lake #1 and existing) such as sediment removal and erosion control along the bank, mowing and aquatic vegetation control will be the responsibility of the Homeowners Association. The Board will also retain jurisdiction for ensuring the storage volume for which the pond was designed will be retained, thereby, allowing no fill or easement encroachments.

The subsurface drains (SSD) to be part of the regulated drain are those located under the curbs and those main lines in rear yards. Only the main SSD lines which are located within the easement or right of way are to be maintained as regulated drain. Laterals for individual lots will not be considered part of the regulated drain. The portion of the SSD which will be regulated other than those under curbs are as follows:

Curbline SSD in Streets:  
Farnham Drive

Rear Yard SSDs:

Rear yard lots 25 to 31 from Str. 500 to Str. 501  
Rear yard lots 32 to 35 from Str. 500 to Str. 514  
Rear yard lots 86 to 88 from Str. 504 running west to riser  
Rear yard lots 89 to 93 from Str. 504 running east to riser  
Rear yard lots 60 to 55 from Str. 524 running east to riser  
Rear yard lots 54 to 50 from riser running east to riser  
Rear yard lots 50 to 48 from riser running east to riser  
Rear yard lots 95 to 100 from Str. 517 running north to riser  
Rear yard lots 38 to 36 from Str. 513A running south to riser  
Rear yard lots 39 to 43 from Str. 513A running north to riser  
Rear yard lots 47 to 44 from Str. 531 running south to riser

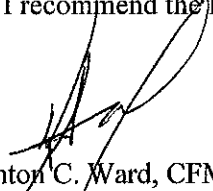
I have reviewed the plans and believe the drain will benefit each lot equally. Therefore, I recommend each lot be assessed equally. I also believe that no damages will result to landowners by the construction of this drain. I recommend a maintenance assessment of \$65.00 per platted lot, \$10.00 per acre for common areas, with a \$65.00 minimum, and \$10.00 per acre for roadways. With this assessment the total annual assessment for this drain will be \$3,359.30.

In accordance with IC 36-7-4-709, the petitioner did not submit surety for the proposed drain prior to construction commencing. If the petitioner/developer wants to submit final secondary plat for recording prior to the final inspection and approved as-built drawings, a bond will be required at that time.

I believe this proposed drain meets the requirements for Urban Drain Classification as set out in IC 36-9-27-67 to 69. Therefore, this drain shall be designated as an Urban Drain.

I recommend that upon approval of the above proposed drain that the Board also approve the attached non-enforcement requests. The request will be for the reduction of the regulated drain easement to those easement widths as shown on the secondary plats for Maple Village (Sonoma) Section 9 as recorded in the office of the Hamilton County Recorder.

I recommend the Board set a hearing for this proposed drain for November 23, 2015.



Kenton C. Ward, CFM  
Hamilton County Surveyor  
KCW/plf

FILED

SEP 15 2015

STATE OF INDIANA )  
 )  
COUNTY OF HAMILTON )

OFFICE OF HAMILTON COUNTY SURVEYOR

TO: HAMILTON COUNTY DRAINAGE BOARD  
% Hamilton County Surveyor  
One Hamilton County Square, Suite 188  
Noblesville, IN. 46060-2230

In the matter of Sonoma Subdivision, Section  
9 Drain Petition.

Petitioner is the owner of all lots in the land affected by the proposed new regulated drain. The drainage will affect various lots in Sonoma, Section 9, a subdivision in Hamilton County, Indiana. The general route of such drainage shall be in existing easements and along public roads as shown in the plans on file in the Surveyor's Office.

Petitioner believes that the cost, damages and expenses of the proposed improvement will be less than the benefits which will result to the owners of the land likely to be benefited thereby. Petitioner believes the proposed improvements will:

- (a) improve public health
- (b) benefit a public street
- (c) be of public utility

Petitioner agrees to pay the cost of construction of the drainage system and requests periodic maintenance assessments by the Board thereafter.

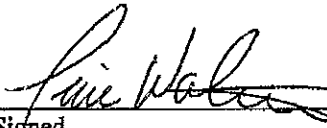
The Petitioner also agrees to the following:

1. To provide the Drainage Board a Performance Bond or Non-Revocable Letter of Credit for the portion of the drainage system which will be made a regulated drain. The bond will be in the amount of 120% of the Engineer's estimate. The bond will be in effect until construction of 100% of the system is completed and so certified by the Engineer.
2. The Petitioner shall retain an Engineer throughout the construction phase. At completion of the project the Petitioner's Engineer shall certify that the drainage system which is to be maintained as a regulated drain has been constructed as per construction plans.
3. The Petitioner agrees to request in writing to the County Surveyor any changes from the approved plan and must receive written authorization from the County Surveyor prior to implementation of the change. All changes shall be documented and given to the Surveyor to be placed in the Drain file.
4. The Petitioner shall instruct his Engineer to provide a reproducible print on a 24" x 36" Mylar of the final design of the Drainage System. This shall be submitted to the County Surveyor prior to the release of the Performance Bond.
5. The Petitioner shall comply with the Erosion Control Plan as specified on the construction plans. Failure to comply with the Erosion Control Plan shall be determined by the Board as being an obstruction to the drainage system. The County Surveyor shall immediately install or repair the needed measures at Petitioners cost as per IC 36-9-27-46.

Adobe PDF Ffillable Form

The Petitioner further requests that the Drain be classified as an Urban Drain as per IC 36-9-27-69(d).

**RECORDED OWNER(S) OF LAND INVOLVED**

  
\_\_\_\_\_  
Signed

Tim Walter - Maple Knoll Developer, LLC  
\_\_\_\_\_  
Printed Name

September 15, 2015  
\_\_\_\_\_  
Date

\_\_\_\_\_  
Signed

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signed

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signed

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Date

FINDINGS AND ORDER

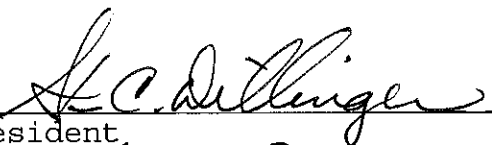
CONCERNING THE MAINTENANCE OF THE

Little Eagle Creek Drain, Maple Village/Sonoma Section 9 Arm

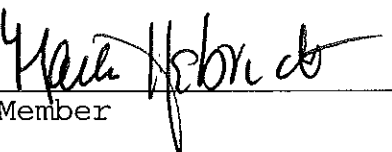
On this 23<sup>rd</sup> day of November, 2015, the Hamilton County Drainage Board has held a hearing on the Maintenance Report and Schedule of Assessments of the *Little Eagle Creek Drain, Maple Village/Sonoma Section 9 Arm*.


Evidence has been heard. Objections were presented and considered. The Board then adopted the original/amended Schedule of Assessments. The Board now finds that the annual maintenance assessment will be less than the benefits to the landowners and issues this order declaring that this Maintenance Fund be established.

HAMILTON COUNTY DRAINAGE BOARD

  
\_\_\_\_\_  
President

  
\_\_\_\_\_  
Member

  
\_\_\_\_\_  
Member

Attest:   
Executive Secretary



**Sonoma Section 9**  
**Engineers Estimate - Storm Sewers & Monumentation**  
**Prepared on: 9/10/2015**

Item	Unit	Unit Cost	Quantities	Cost
<b>Storm Drainage</b>				
12" Pipe	LF	\$ 23.00	212 \$	4,876
12" End Section	EA	\$ 1,412.00	1 \$	1,412
12" Trash Guard	EA	\$ 600.00	1 \$	600
15" Pipe	LF	\$ 27.30	327 \$	8,927
15" End Section	EA	\$ 1,515.00	1 \$	1,515
15" Trash Guard	EA	\$ 660.00	1 \$	660
18" Pipe	LF	\$ 35.00	1455 \$	50,925
18" End Section	EA	\$ 1,600.00	3 \$	4,800
18" Trash Guard	EA	\$ 700.00	3 \$	2,100
21" Pipe	LF	\$ 36.15	63 \$	2,277
21" End Section	EA	\$ 1,800.00	1 \$	1,600
21" Trash Guard	EA	\$ 750.00	1 \$	750
24" Pipe	LF	\$ 41.55	432 \$	17,950
24" End Section	EA	\$ 1,750.00	1 \$	1,750
24" Trash Guard	EA	\$ 800.00	1 \$	800
Pond Outlet Structure	EA	\$ 2,800.00	1 \$	2,800
Standard Storm Manholes	EA	\$ 2,300.00	6 \$	13,800
Large Storm Manholes & Double Inlets	EA	\$ 2,750.00	2 \$	5,500
Storm Inlets	EA	\$ 2,480.00	9 \$	22,320
Sand Backfill and Bedding	TON	\$ 13.25	170 \$	2,253
Subtotal 1				\$ 147,615
Sub-surface Drains - under curb	LF	\$ 7.50	2,290 \$	17,175
Sub-surface Drains - swales	LF	\$ 7.75	2,432 \$	18,848
Sub-surface Drains - sump laterals	EA	\$ 167.00	49 \$	8,183
Subtotal 2				\$ 44,206
<b>Total</b>				<b>\$ 191,821</b>
<b>Monuments &amp; Markers</b>				
Lot Corner Monuments	LOT	\$ 100.00	49.00 \$	4,900
Street Centerline Monumentation	EA	\$ 150.00	5.00 \$	750
<b>Total</b>				<b>\$ 5,650</b>
<b>Erosion Control</b>				
--> Not Applicable - Property annexed by City of Westfield and governed by Westfield MS4 permit.			NA	NA
<b>Total</b>				\$ -
<b>Grand Total</b>				<b>\$ 197,471</b>
<b>Per Hamilton County Ordinance - Bond Amount</b>			120%	<b>\$ 236,965</b>

BY: 

Timothy J. Walter, P.E.  
 Indiana Registration No. 19900152

317 818-2900 ♦ 317 863-2055 fax

9757 Westpoint Drive Suite 600 ♦ Indianapolis IN 46256

BEFORE THE HAMILTON COUNTY DRAINAGE BOARD  
IN THE MATTER OF

*Little Eagle Creek Drain,  
Maple Village/Sonoma Section 9 Arm*

NOTICE

To Whom It May Concern and: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Notice is hereby given of the hearing of the Hamilton County Drainage Board on the **Little Eagle Creek Drain, Maple Village/Sonoma Section 9 Arm** on **November 23, 2015** at **9:00 A.M.** in Commissioners Court, Hamilton County Judicial Center, One Hamilton County Square, Noblesville, Indiana, and which construction and maintenance reports of the Surveyor and the Schedule of Assessments made by the Drainage Board have been filed and are available for public inspection in the office of the Hamilton County Surveyor.

Hamilton County Drainage Board

Attest: Lynette Mosbaugh

ONE TIME ONLY

BEFORE THE HAMILTON COUNTY DRAINAGE BOARD  
IN THE MATTER OF THE

**Little Eagle Creek Drain,  
Maple Village/Sonoma Section 9 Arm**

NOTICE

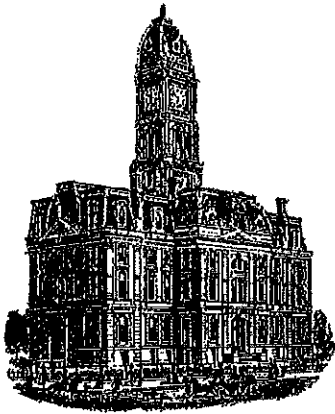
Notice is hereby given pursuant to Section 405 of the 1965 Indiana Drainage Code that this Board, prior to final adjournment on **November 23, 2015** has issued an order adopting the Schedule of Assessments, filed the same and made public announcement thereof at the hearing and ordered publication. If judicial review of the findings and order of the Board is not requested pursuant to Article Eight of this code within twenty (20) days from the date of this publication, the order shall be conclusive.

Hamilton County Drainage Board

Attest: Lynette Mosbaugh

ONE TIME ONLY





*Kenton C. Ward, CFM*  
*Surveyor of Hamilton County*  
*Phone (317) 776-8495*  
*Fax (317) 776-9628*

*Suite 188*  
*One Hamilton County Square*  
*Noblesville, Indiana 46060-2230*

**To: Hamilton County Drainage Board**

**June 8, 2017**

**Re: Little Eagle Creek Drain, Maple Village Section 9**

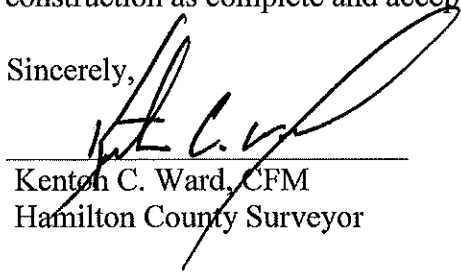
Attached are as-built, certificate of completion & compliance, and other information for Maple Village Section 9. An inspection of the drainage facilities for this section has been made and the facilities were found to be complete and acceptable.

During construction, changes were made to the drain, which will alter the plans submitted with my report for this drain-dated October 2, 2015. The report was approved by the Board at the hearing held November 23, 2015. (See Drainage Board Minutes Book 16, Pages 361-362) The changes are as follows: the 6' SSD was shortened from 4,742 feet to 4,703 feet. The 12" RCP was lengthened from 192 feet to 252 feet. The 15" RCP was lengthened 327 feet to 340 feet. The 18" RCP was shortened from 1455 feet to 1423 feet. The 21" RCP was shortened from 58 feet to 63 feet. The 24" RCP was shortened from 432 feet to 429 feet. The length of the drain due to the changes described above is now **7,205 feet**. There was 19 feet of existing 12" RCP removed with this project. Therefore 7,186 feet was added to the drain's overall length.

The non-enforcement was approved by the Board at its meeting on November 23, 2015 and recorded under instrument #2016033000.

In accordance with IC 36-7-4-709 the petitioner did not submit any sureties for this project. I recommend the Board approve the drain's construction as complete and acceptable.

Sincerely,

  
 \_\_\_\_\_  
 Kenton C. Ward, CFM  
 Hamilton County Surveyor

CERTIFICATE OF COMPLETION AND COMPLIANCE

To: Hamilton County Surveyor

Re: Sonoma, Section 9

I hereby certify that:

1. I am a Registered Land Surveyor or Engineer in the State of Indiana.
2. I am familiar with the plans and specifications for the above referenced subdivision.
3. I have personally observed and supervised the completion of the drainage facilities for the above referenced subdivision.
4. The drainage facilities within the above referenced subdivision to the best of my knowledge, information and belief have been installed and completed in conformity with all plans and specifications.
5. The drainage facilities within the above referenced subdivision to the best of my knowledge, information and belief have been correctly represented on the Record Drawings, Digital Record Drawings and the Structure Data Spreadsheet.

Signature:  Date: May 19, 2016

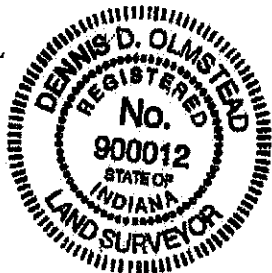
Type or Print Name: Dennis D. Olmstead - Stoepelwerth & Associates, Inc.

Business Address: 7965 East 106th Street

Fishers, Indiana 46038

Telephone Number: (317) 570-4700

SEAL

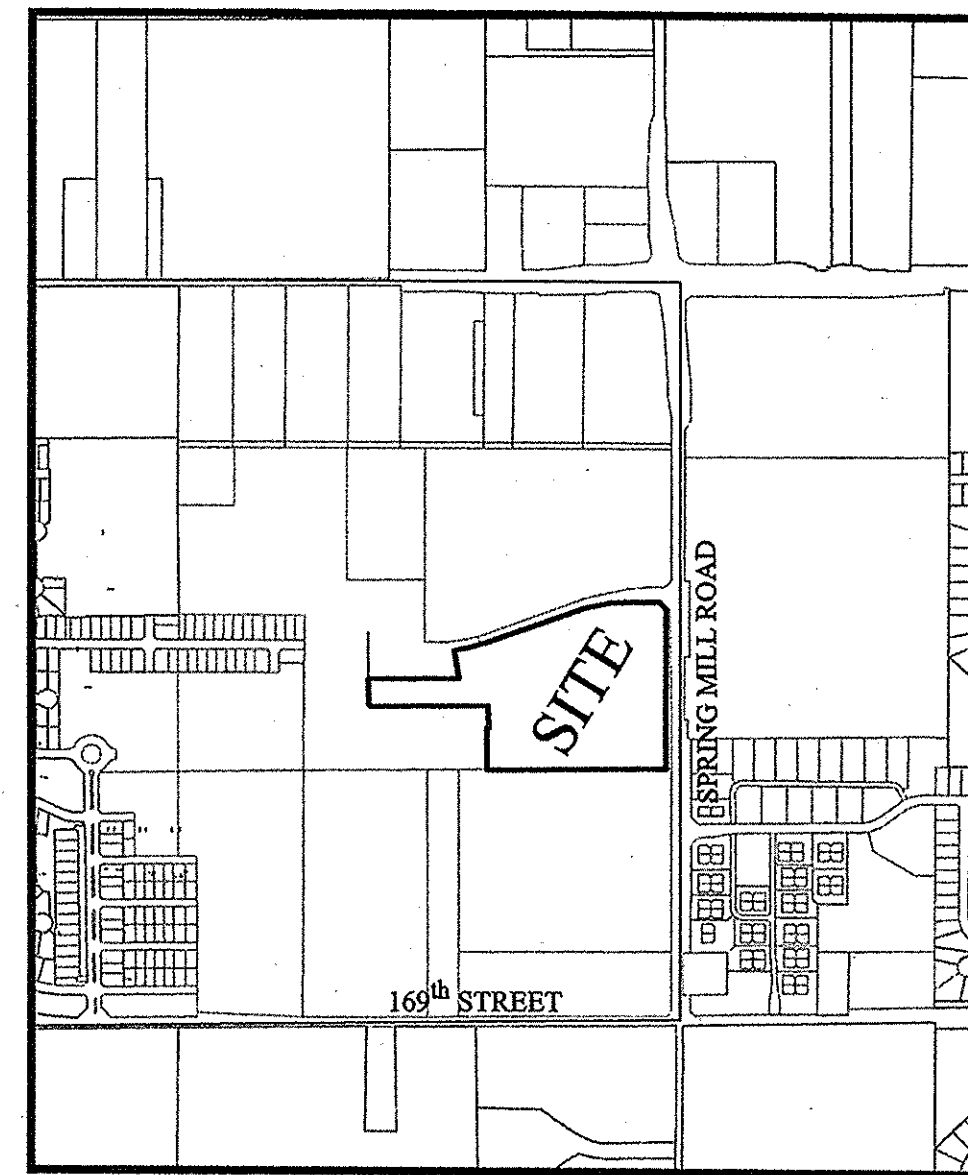
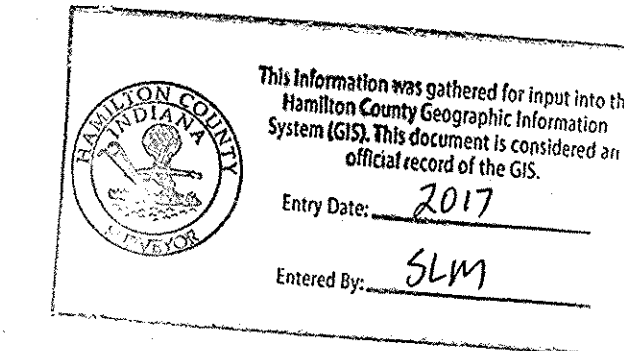


INDIANA REGISTRATION NUMBER

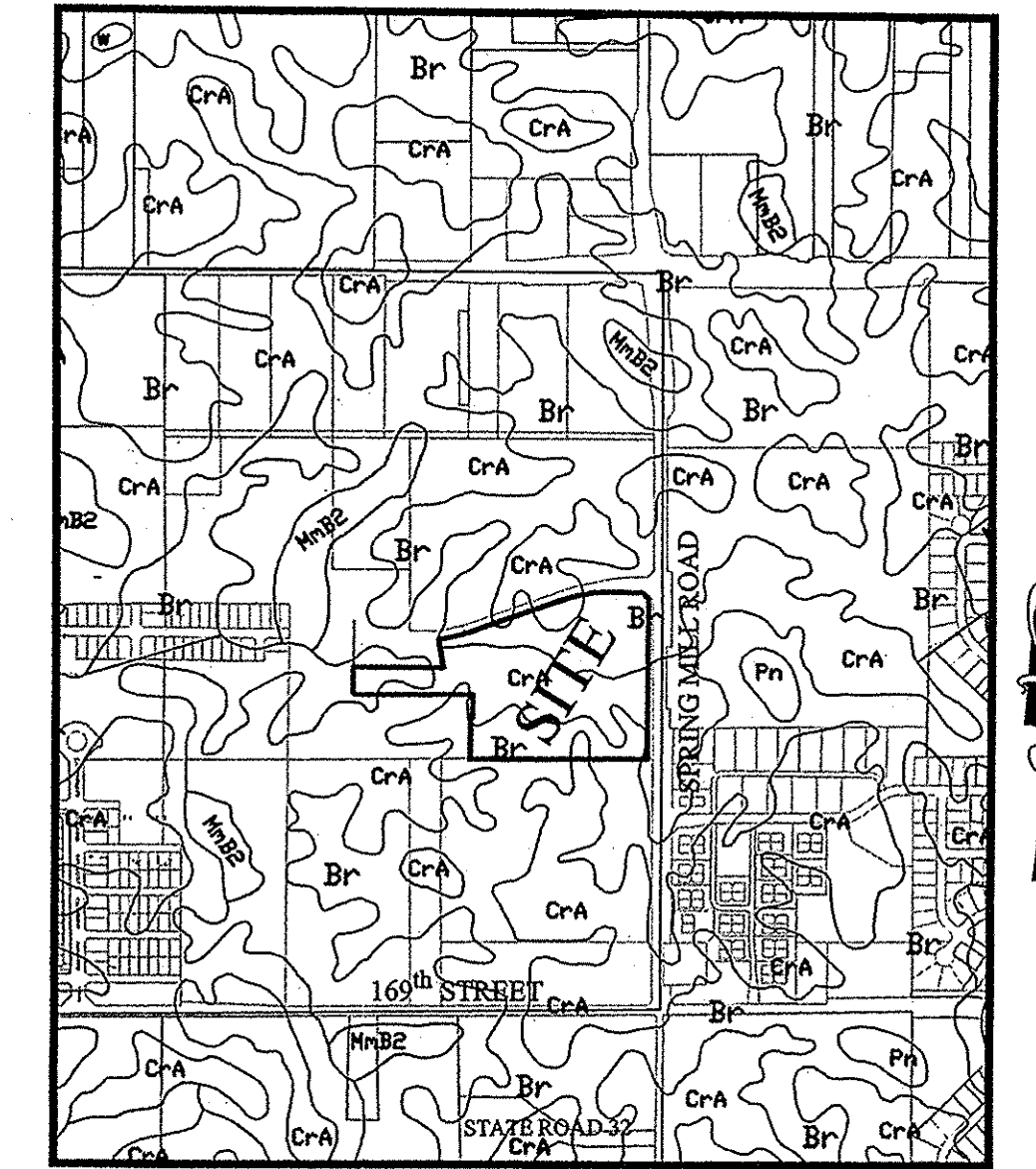
900012

# SONOMA SECTION 9

Developed by:  
**MAPLE KNOLL DEVELOPER, LLC**  
**9757 Westpoint Drive Suite 600**  
**Indianapolis, Indiana 46256**  
**Phone: (317) 564-7304**  
**Contact Person: Tim Walsh**



LOCATION MAP  
SCALE: 1"=1000'



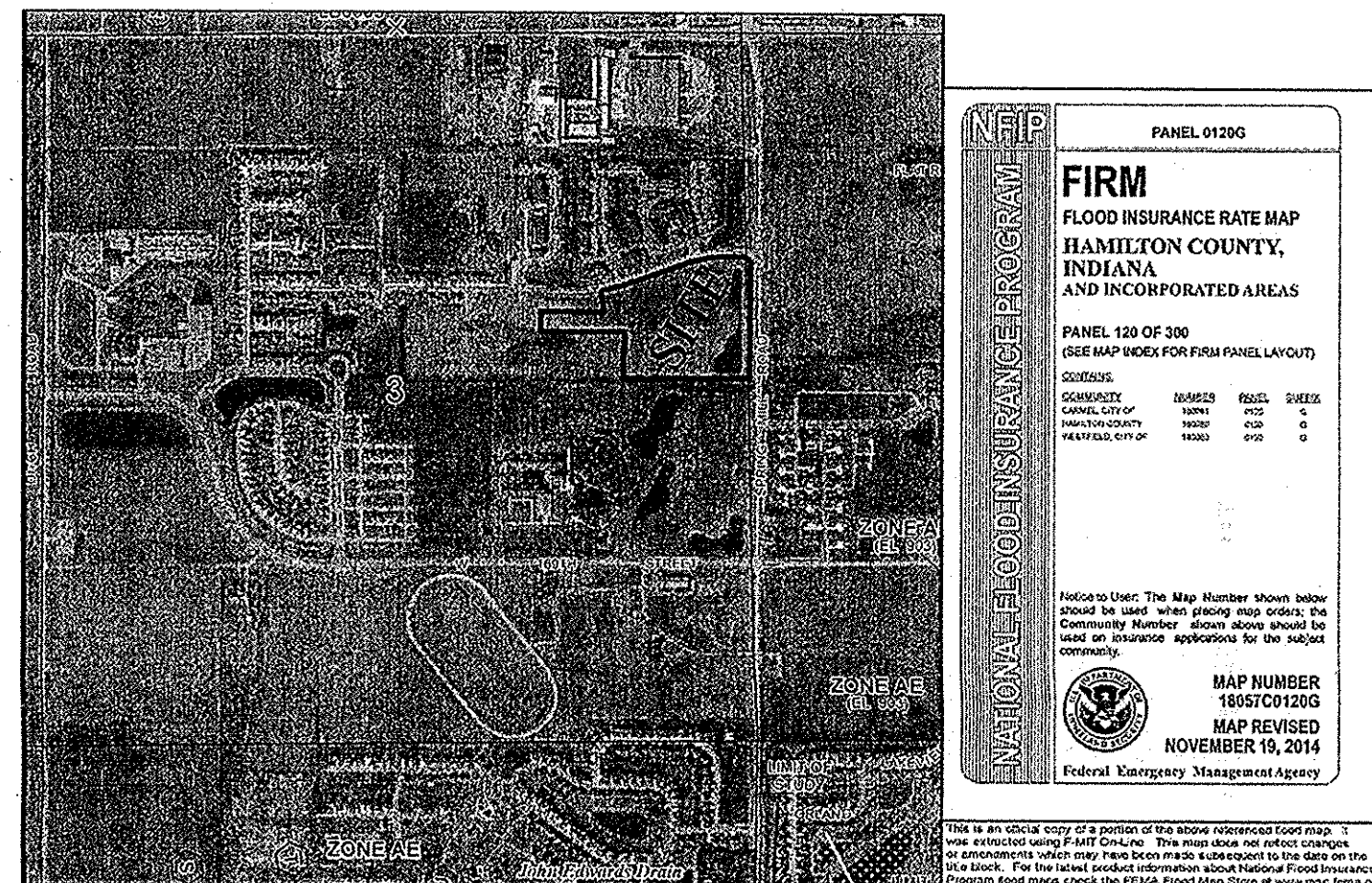
SOILS MAP  
SCALE: 1"=1000'

**Br-Brookston silty clay loam**

This nearly level, deep, very poorly drained soil is in broad depressions, swales, and narrow drainageways on till plains. It is ponded by runoff from higher adjacent areas. The mapped areas are mostly oval shaped or fingerlike and range from 3 to 250 acres in size.

**CrA - Crosby silt loam, 0 to 3 percent slopes**

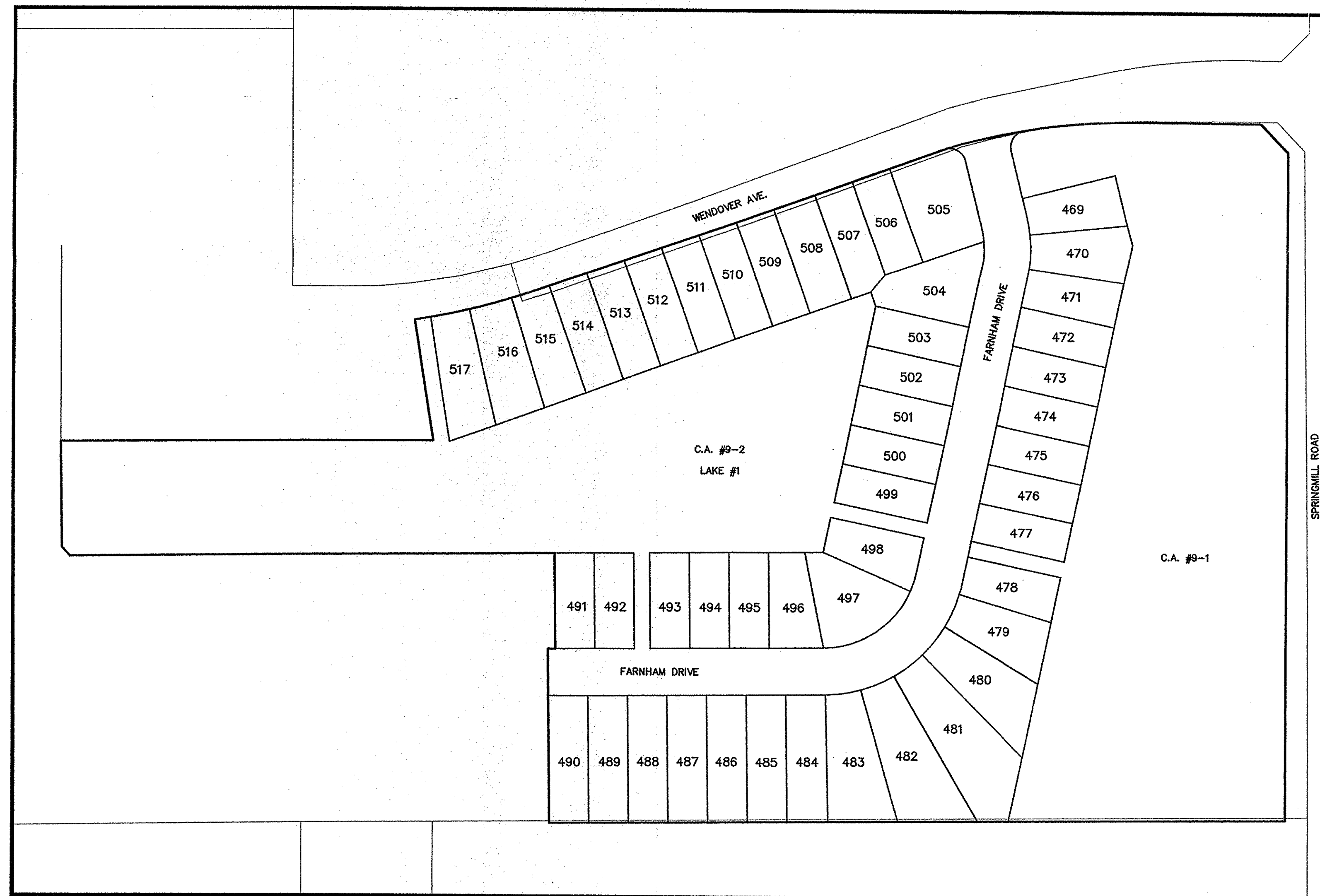
This nearly level, deep, somewhat poorly drained soil is on slight rises on broad, undulating till plains. The mapped areas are irregular in shape and range from 3 to 200 acres in size.



PANEL 01200  
**FIRM**  
 FLOOD INSURANCE RATE MAP  
 HAMILTON COUNTY,  
 INDIANA  
 AND INCORPORATED AREAS  
 PANEL 120 OF 200  
 (SEE MAP BOOK FOR FIRM PANEL LAYOUT)  
 SOURCE:  
 DATE: 11/19/14  
 MAP NUMBER: 18061C01200  
 MAP REVISED: NOVEMBER 19, 2014  
 Federal Emergency Management Agency

NOTE: NO STREAMS APPEAR TO BE ON OR IMMEDIATELY ADJACENT TO THE PROPERTY. THE S.M. SMITH REGULATED DRAIN TILE HAS BEEN VACATED UPSTREAM OF THIS PROJECT SITE.

FLOOD MAP  
N.T.S.



**DESIGN DATA**

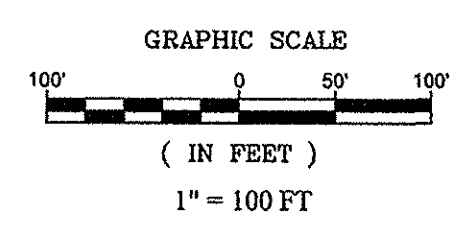
49 LOTS	
19,902 AC.	= 2.46 LOTS/ACRE
FARNHAM DRIVE	1,138.66 L.F.
TOTAL	1,138.66 L.F.
DESIGN SPEED LIMIT:	25 M.P.H
POSTED SPEED LIMIT:	20 M.P.H

**INDEX**

SHT.	DESCRIPTION
C001	COVER SHEET
C100	TOPOGRAPHICAL SURVEY & DEMOLITION PLAN
C200-C201	SITE DEVELOPMENT PLAN
C300-C307	INITIAL STORM WATER POLLUTION & PREVENTION PLAN TEMPORARY STORM WATER POLLUTION & PREVENTION PLAN PERMANENT SEDIMENT & EROSION CONTROL PLAN STORM WATER POLLUTION & PREVENTION SPECIFICATIONS STORM WATER POLLUTION & PREVENTION DETAILS
C400-C402	STREET PLAN & PROFILES TRAFFIC CONTROL PLAN ENTRANCE DETAIL & TRAFFIC MAINTENANCE
C500	SANITARY SEWER PLAN & PROFILES
C600-C603	STORM SEWER PLAN & PROFILES SUMP PLAN
C700-C701	WATER PLAN WATER DETAILS
C800-C807	CONSTRUCTION DETAILS SANITARY STORM STREET BUCKEYE SPECIFICATIONS
C900-C901 & C903	LANDSCAPE PLANS

**REVISIONS**

SHT.	DESCRIPTION
ALL	Revised per comment letters-09/30/15-JSM
C200,C201,C600	REVISED PER HSCO REVIEW COMMENT-10/30-15-JSM
C200-201, C500, C600-602, C603 & C700	AS BUILTS - 05/09/16 CCE



**UTILITY CONTACTS**

- |  |  |  |   |  |
|--|--|--|---|--|
| <p>AT &amp; T<br/>5858 North College Ave.<br/>Indianapolis, Indiana 46220<br/>Contact: Michael Hayes<br/>Ph: (317) 252-4007</p>                      | <p>Comcast Cable<br/>5330 East 65th Street<br/>Indianapolis, Indiana 46220<br/>Contact: Matt Stringer<br/>Ph: (317) 774-3384</p>   | <p>Duke Energy<br/>16475 Southpark Drive<br/>Westfield, Indiana 46074<br/>Contact: Shirley Hunter<br/>Ph: (317) 896-6111</p>           | <p>Westfield Public Works Department<br/>2706 East 171st Street<br/>Westfield, Indiana 46074<br/>Ph: (317) 804-3100</p>   | <p>Buckeye Pipeline<br/>940 Buckeye Road<br/>Lima, Ohio 45804<br/>Contact: Marty White<br/>Ph: (419) 993-8008</p>  |
| <p>Frontier Communications<br/>20905 Hague Road (Rear Building)<br/>Noblesville, Indiana 46060<br/>Contact: Steve Costlow<br/>Ph: (317) 984-9010</p> | <p>Vectren Energy<br/>16999 Allisonville Road<br/>Noblesville, Indiana 46060<br/>Contact: Charlotte May<br/>Ph: (317) 776-5592</p> | <p>Bighthouse Networks<br/>3030 Roosevelt Ave.<br/>Indianapolis, Indiana 46202<br/>Contact: Gary Richardson<br/>Ph: (317) 632-9077</p> | <p>Citizens Wastewater of Westfield, LLC<br/>2150 Dr. Martin Luther King Jr. Street<br/>Indianapolis, Indiana 46202<br/>Contact: Harry Nikides<br/>Ph: (317) 429-3972</p> | <p>Citizens Water of Westfield, LLC<br/>2150 Dr. Martin Luther King Jr. Street<br/>Indianapolis, Indiana 46202<br/>Contact: Harry Nikides<br/>Ph: (317) 429-3972</p> |

## RECORD DRAWING

*Dennis D. Olmstead*  
 Dennis D. Olmstead  
 Registered Land Surveyor  
 No. 900012  
 5/19/2016

PLANS PREPARED BY:  
**STOEPPEL WERTH & ASSOCIATES, INC.**  
 CONSULTING ENGINEERS & LAND SURVEYORS  
 7965 E. 106TH STREET, FISHERS, INDIANA 46038  
 PHONE: (317)-849-5935  
 FAX: (317)-849-5942  
 CONTACT PERSON: BRETT A. HUFF  
 EMAIL: bhuff@Stoepfelwerth.com

PLANS CERTIFIED BY:  
*David J. Stoepfelwerth* 07/02/2015  
 DAVID J. STOEPPEL WERTH  
 PROFESSIONAL LAND SURVEYOR  
 NO. 19358

REFER TO SHEET C201 FOR STRUCTURE SCHEDULE AND GENERAL NOTES.

# RECORD DRAWING

UTILITY CROSSINGS  
CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION TO CONFIRM THERE ARE NO CONFLICTS. CONFLICTS THAT ARE DISCOVERED AFTER CONSTRUCTION BEGINS ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY.

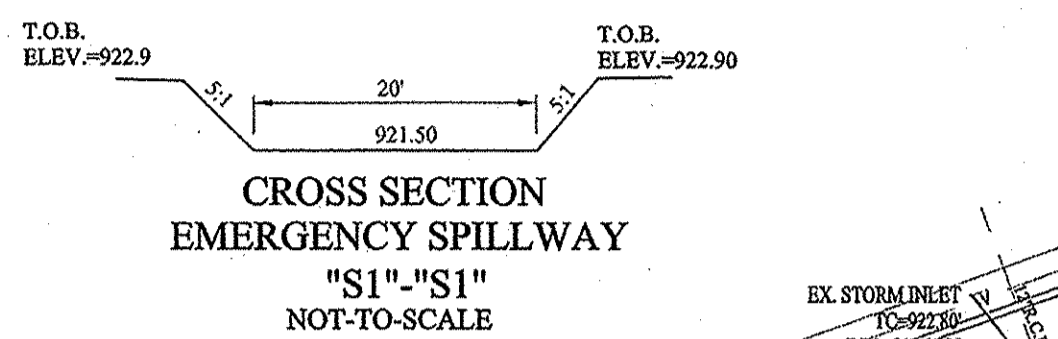
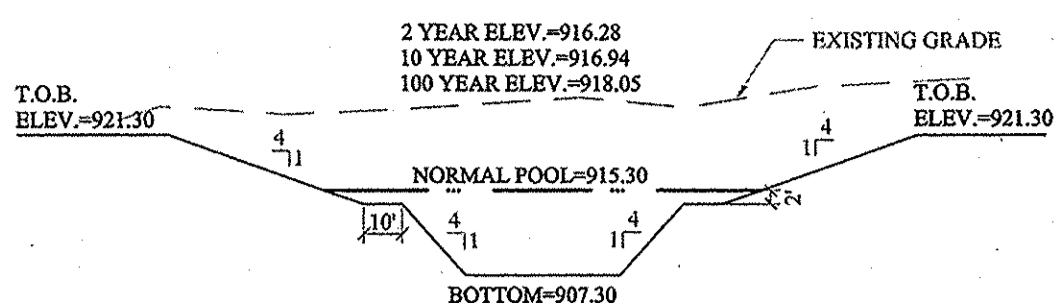
MAPLE KNOLL APARTMENTS  
PARCEL #08-09-03-00-012.411

Dennis D. Olmstead  
Registered Land Surveyor  
No. 900012  
5/19/2016



### LEGEND

- - - - - EXISTING CONTOUR
- - - - - EXISTING SANITARY SEWER
- - - - - EXISTING STORM SEWER
- HPPPP EXISTING BUCKEYE 8-INCH HIGH PRESSURE PETROLEUM PRODUCTS PIPELINE
- [---] PROPOSED GRADE
- - - - - PROPOSED CONTOUR
- FM PROPOSED FORCE MAIN
- - - - - PROPOSED STORM SEWER
- - - - - PROPOSED WATER LINE
- PROPOSED SWALE
- PROPOSED 5' SIDEWALK (BY HOME BUILDER) (DEVELOPER SHALL INSTALL SIDEWALKS ALONG ALL COMMON AREAS)



25  
XXX.X  
M.F.F.  
XXX.XX

LOT NUMBER  
PAD ELEVATION  
MINIMUM FINISH FLOOR.  
(LOOK MUST BE (1) NOT ABOVE THE NEAREST UPSTREAM OR  
DOWNSTREAM SANITARY MANHOLE WHICH EVER IS LOWEST)

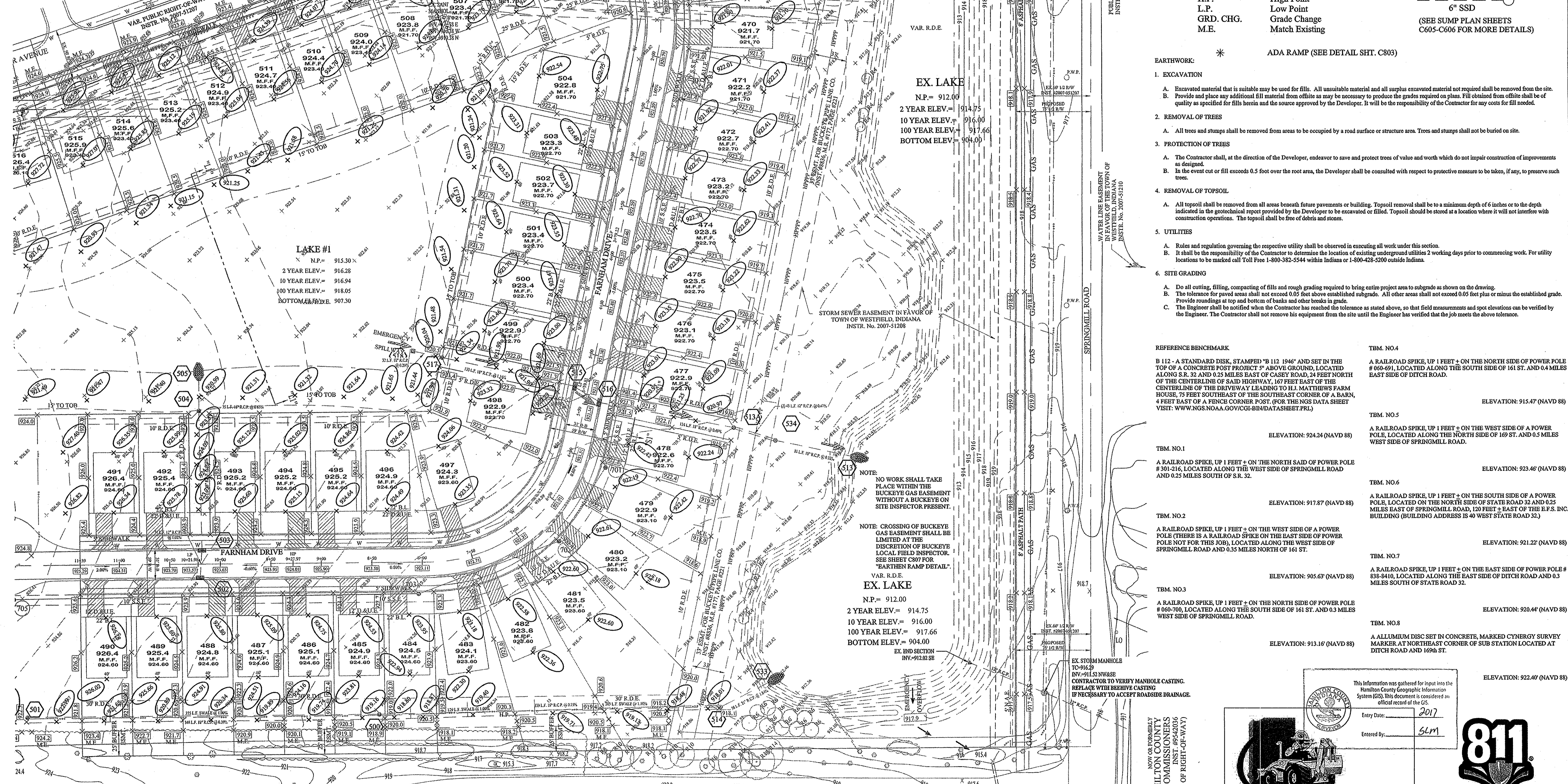
PROPOSED 6" UNDERDRAINS

B.L. Building Setback Line  
D.U.E. Drainage & Utility Easement  
D.U.&S.S.E. Drainage, Utility & Sanitary Sewer Easement  
H.P. High Point  
L.P. Low Point  
GRD. CHG. Grade Change  
M.E. Match Existing

SSD TO LOT  
RISER TC  
6" SSD  
(SEE SUMP PLAN SHEETS  
C605-C606 FOR MORE DETAILS)

\* ADA RAMP (SEE DETAIL SHT. C803)

MAPLE KNOLL APARTMENTS  
IL 08-09-03-00-012.411



- EARTHWORK:
- EXCAVATION
    - A. Excavated material that is suitable may be used for fills. All unsuitable material and all surplus excavated material not required shall be removed from the site.
    - B. Provide and place any additional fill material from offsite as may be necessary to produce the grades required on plans. Fill obtained from offsite shall be of quality as specified for fills herein and the source approved by the Developer. It will be the responsibility of the Contractor for any costs for fill needed.
  - REMOVAL OF TREES
    - A. All trees and stumps shall be removed from areas to be occupied by a road surface or structure area. Trees and stumps shall not be buried on site.
    - B. In the event cut or fill exceeds 0.5 foot over the root area, the Developer shall be consulted with respect to protective measure to be taken, if any, to preserve such trees.
  - REMOVAL OF TOPSOIL
    - A. All topsoil shall be removed from all areas beneath future pavements or building. Topsoil removal shall be to a minimum depth of 6 inches or to the depth indicated in the geotechnical report provided by the Developer to be excavated or filled. Topsoil should be stored at a location where it will not interfere with construction operations. The topsoil shall be free of debris and stones.
  - UTILITIES
    - A. Rules and regulation governing the respective utility shall be observed in executing all work under this section.
    - B. It shall be the responsibility of the Contractor to determine the location of existing underground utilities 2 working days prior to commencing work. For utility locations to be marked call Toll Free 1-800-362-5544 within Indiana or 1-800-425-5200 outside Indiana.
  - SITE GRADING
    - A. Do all cutting, filling, compacting of fills and rough grading required to bring entire project area to subgrade as shown on the drawing.
    - B. The tolerance for paved areas shall not exceed 0.05 feet above established subgrade. All other areas shall not exceed 0.05 feet plus or minus the established grade. Provide roundings at top and bottom of banks and other breaks in grade.
    - C. The Engineer shall be notified when the Contractor has reached the tolerance as stated above, so that field measurements and spot elevations can be verified by the Engineer. The Contractor shall not remove his equipment from the site until the Engineer has verified that the job meets the above tolerance.

- REFERENCE BENCHMARK
- B 112 - A STANDARD DISK, STAMPED "B 112 1946" AND SET IN THE TOP OF A CONCRETE POST PROJECT 5" ABOVE GROUND, LOCATED ALONG S.R. 32 AND 0.25 MILES EAST OF CASEY ROAD, 24 FEET NORTH OF THE CENTERLINE OF SAID HIGHWAY, 167 FEET EAST OF THE CENTERLINE OF THE DRIVEWAY LEADING TO H.I. MATTHEWS FARM HOUSE, 75 FEET SOUTHEAST OF THE SOUTHEAST CORNER OF A BARN, 4 FEET EAST OF A FENCE CORNER POST. FOR THE NGS DATA SHEET VISIT: WWW.NGS.NOAA.GOV/CGI-BIN/DATA/SHEET.PRL
- TBM NO.4  
A RAILROAD SPIKE, UP 1 FEET + ON THE NORTH SIDE OF POWER POLE # 660-691, LOCATED ALONG THE SOUTH SIDE OF 161 ST. AND 0.4 MILES EAST SIDE OF DITCH ROAD.  
ELEVATION: 915.47 (NAVD 88)
- TBM NO.5  
A RAILROAD SPIKE, UP 1 FEET + ON THE WEST SIDE OF A POWER POLE, LOCATED ALONG THE NORTH SIDE OF 169 ST. AND 0.5 MILES WEST SIDE OF SPRINGMILL ROAD.  
ELEVATION: 924.24 (NAVD 88)
- TBM NO.1  
A RAILROAD SPIKE, UP 1 FEET + ON THE NORTH SAID OF POWER POLE # 501-216, LOCATED ALONG THE WEST SIDE OF SPRINGMILL ROAD AND 0.25 MILES SOUTH OF S.R. 32.  
ELEVATION: 923.46 (NAVD 88)
- TBM NO.2  
A RAILROAD SPIKE, UP 1 FEET + ON THE WEST SIDE OF A POWER POLE (THERE IS A RAILROAD SPIKE ON THE EAST SIDE OF POWER POLE NOT FOR THIS JOB), LOCATED ALONG THE WEST SIDE OF SPRINGMILL ROAD AND 0.35 MILES NORTH OF 161 ST.  
ELEVATION: 917.87 (NAVD 88)
- TBM NO.6  
A RAILROAD SPIKE, UP 1 FEET + ON THE SOUTH SIDE OF A POWER POLE, LOCATED ON THE NORTH SIDE OF STATE ROAD 32 AND 0.25 MILES EAST OF SPRINGMILL ROAD, 120 FEET + EAST OF THE E.F.S. INC. BUILDING (BUILDING ADDRESS IS 40 WEST STATE ROAD 32).  
ELEVATION: 921.22 (NAVD 88)
- TBM NO.7  
A RAILROAD SPIKE, UP 1 FEET + ON THE EAST SIDE OF POWER POLE # 338-8410, LOCATED ALONG THE EAST SIDE OF DITCH ROAD AND 0.3 MILES SOUTH OF STATE ROAD 32.  
ELEVATION: 905.63 (NAVD 88)
- TBM NO.3  
A RAILROAD SPIKE, UP 1 FEET + ON THE NORTH SIDE OF POWER POLE # 660-700, LOCATED ALONG THE SOUTH SIDE OF 161 ST. AND 0.3 MILES WEST SIDE OF SPRINGMILL ROAD.  
ELEVATION: 920.44 (NAVD 88)
- TBM NO.8  
A ALLUMIUM DISC SET IN CONCRETE, MARKED CYNRYG SURVEY MARKER AT NORTHEAST CORNER OF SUB STATION LOCATED AT DITCH ROAD AND 169th ST.  
ELEVATION: 913.16 (NAVD 88)
- TBM NO.8  
ELEVATION: 922.40 (NAVD 88)

NOTE:  
NO WORK SHALL TAKE PLACE WITHIN THE BUCKEYE GAS EASEMENT WITHOUT A BUCKEYE ON SITE INSPECTOR PRESENT.

NOTE: CROSSING OF BUCKEYE GAS EASEMENT SHALL BE LIMITED AT THE DISCRETION OF BUCKEYE LOCAL FIELD INSPECTOR. SEE SHEET C807 FOR "BARTHEN RAMP DETAIL".  
VAR. R.D.E.

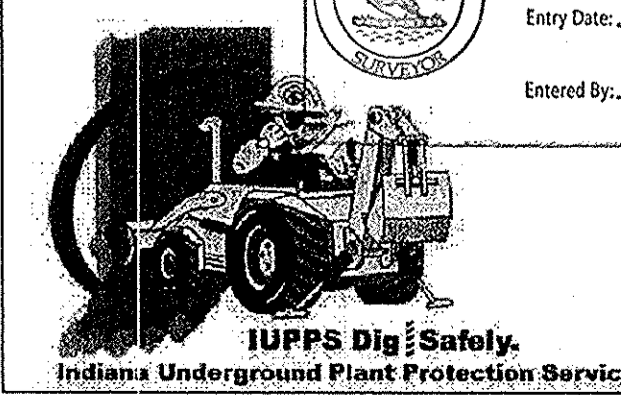
EX. LAKE  
N.P. = 912.00  
2 YEAR ELEV. = 914.75  
10 YEAR ELEV. = 916.00  
100 YEAR ELEV. = 917.66  
BOTTOM ELEV. = 904.00  
EX. END SECTION INV-912.00.38

THIS INFORMATION WAS GATHERED FOR INPUT INTO THE HAMILTON COUNTY GEOGRAPHIC INFORMATION SYSTEM (GIS). THIS DOCUMENT IS CONSIDERED AN OFFICIAL RECORD OF THE GIS.

Entry Date: 2017  
Entered By: SLM

811  
Know what's below.  
Call before you dig.

HAMILTON COUNTY BOARD OF COMMISSIONERS (DEDICATION OF RIGHT-OF-WAY)



AS BUILT: 05/09/16  
REVISED PER HCO REVIEW COMMENT: 10/30/15  
REVISED PER BUCKEYE COMMENT LETTER: 09/30/15

DATE: 05/19/16  
MARK: [ ]  
BY: [ ]

THIS DRAWING IS NOT INTENDED TO BE USED FOR CONSTRUCTION OF ORIGINAL BOUNDARY SURVEY ROUTE SURVEY OR A SURVEYOR LOCATION REPORT.

CERTIFIED: 07/02/2015  
David J. Stoepelwerth

REGISTERED PROFESSIONAL ENGINEER  
No. 19358  
STATE OF INDIANA

STOEPPELWERTH  
ALWAYS ON  
7945 East 160th Street, Fishers, IN 46038-9205  
phone: 317.849.5935 fax: 317.849.5942

SITE DEVELOPMENT PLAN  
SONOMA SECTION 9  
HAMILTON COUNTY, INDIANA  
WESTFIELD

DRAWN BY: ADG  
CHECKED BY: BAH

SHEET NO. C200  
S.A. JOB NO. 50690PLA-S9

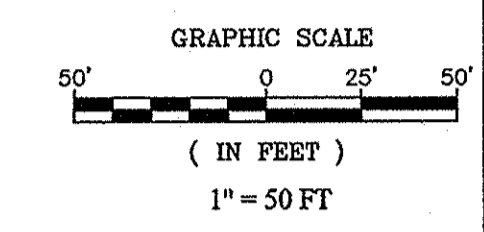
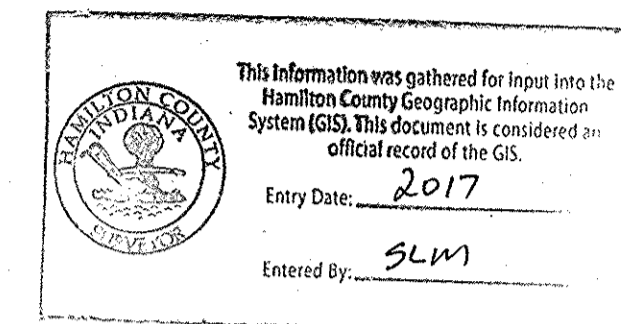
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May 19, 2016 1:20:17 PM / cesposito  
Modified / By: cesposito  
May 19, 2016 2:25:20 PM / Christian Esposito  
Plotted / By: cesposito

STORM STRUCTURE TABLE										
STR.#	TYPE	T.C.	CASTING TYPE	DIAMETER IN	DIRECTION IN	INV_IN	DIAMETER OUT	DIRECTION OUT	INV_OUT	SLOPE
500	YARD INLET	919.05	R-4342	18	W	915.15	18	E	915.10	0.25%
501	YARD INLET	922.40	R-4342	18			18	E	916.50	0.39%
502	DBL. CURB INLET	923.47	R-3501-L2	12			12	N	919.02	1.02%
503	DBL. CURB INLET	923.45	R-3501-L2	12	S	918.70	15	N	916.31	0.58%
504	MANHOLE	923.62	R-1772	15	S	915.52	18	N	915.42	0.65%
505	END SECTION	916.98		18	S	915.19				
507	END SECTION	916.82	???	15	W	915.30				
510	MANHOLE	925.00	R-4342	12	S	917.83	15	E	917.62	1.34%
511	MANHOLE	925.82	R-1772	12	NW	921.41	12	S	921.51	3.40%
								SW	921.70	-0.74%
511A	TEMP. END SECTION	924.07		12	NB	921.83				
513	END SECTION	913.03		18	W	912.14				
513A	MANHOLE	920.56	R-1772	18	W	912.60	12	E	912.60	0.47%
514	YARD INLET	917.98	R-4342	18	W	914.26	21	NE	913.26	1.84%
515	DBL. CURB INLET	921.04	R-3501-TL/TR	18	W	913.54	18	SE	913.45	0.30%
516	DBL. CURB INLET	920.89	R-3501-TL/TR	18	NW	913.35	18	E	913.25	0.49%
517	MANHOLE	921.04	R-1772	18	W	915.15	18	E	915.05	1.14%
518	OUTLET CTRL. STR.	918.24	SPECIAL				18	E	915.24	0.29%
523	YARD INLET	923.97	R-4342	15	W	917.27	24	E	917.17	0.30%
				12	N	919.49				
524	MANHOLE	923.56	R-1772	24	W	916.00	24	S	915.90	2.06%
				12	N	916.79				
525	END SECTION	917.50		24	N	915.16				
529	DBL. CURB INLET	919.84	R-3501-TL/TR	15			15	E	915.73	0.48%
530	CURB INLET	919.68	R-3501-L2	15	W	915.58	18	E	915.58	0.27%
531	MANHOLE	919.34	R-1772	18	W	914.94	18	SE	914.04	2.42%
532	END SECTION	914.50		18	NW	912.71				
533	END SECTION	914.25		21	SW	912.19				
534	MANHOLE	919.57	R-1772	12	W	912.40	18	E	912.40	0.32%
740	CURB INLET	925.55	EXISTING				12	SE	921.78	1.61%

GENERAL NOTES:

- ALL SSD (SUBSURFACE DRAINS) WILL NEED TO BE 6" DOUBLE WALL SMOOTH BORE PERFORATED (HDPE) PIPE.
- ALL EXISTING OFF-SITE DRAIN TILES THAT ARE ENCOUNTERED SHALL BE TIED INTO THE PROPOSED STORM SEWER SYSTEM WITH A POSITIVE OUTFLOW. ANY TILE THAT IS ENCOUNTERED THAT IS COMPLETELY ON-SITE MUST BE CRUSHED AND ABANDONED.
- ALL PADS SHALL BE TESTED TO ASSURE A COMPACTION OF AT LEAST 95 PERCENT OF THE MAXIMUM DRY DENSITY USING THE STANDARD PROCTOR TEST METHOD.
- CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION TO CONFIRM THERE ARE NO CROSSING CONFLICTS. CONFLICTS THAT ARE DISCOVERED AFTER CONSTRUCTION BEGINS ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY.
- ALL SSD UNDER CURB SHALL BE CLEANED AND TELEVIEWED AFTER ALL UNDERGROUND UTILITIES ARE INSTALLED AND SUBMITTED TO CITY OF WESTFIELD INSPECTOR.
- EXISTING AND NEW POWER POLES SHALL BE MOVED OUTSIDE OF THE PROPOSED RIGHT-OF-WAY.

REFER TO SHEET C200 FOR BENCHMARKS, AND EARTHWORK NOTES.



- LEGEND**
- EXISTING CONTOUR
  - EXISTING SANITARY SEWER
  - EXISTING STORM SEWER
  - PROPOSED GRADE
  - PROPOSED CONTOUR
  - PROPOSED FORCE MAIN
  - PROPOSED STORM SEWER
  - PROPOSED WATER LINE
  - PROPOSED SWALE
  - PROPOSED 5' SIDEWALK (BY HOME BUILDER) (DEVELOPER SHALL INSTALL SIDEWALKS ALONG ALL COMMON AREAS)

25 LOT NUMBER  
 XXX.X  
 M.F.F.  
 XXX.XX  
 PAD ELEVATION  
 MINIMUM FINISH FLOOR.  
 (FLOOR MUST BE (1) FOOT ABOVE THE NEAREST UPSTREAM OR DOWNSTREAM SANITARY MANHOLE WHICH EVER IS LOWEST.)

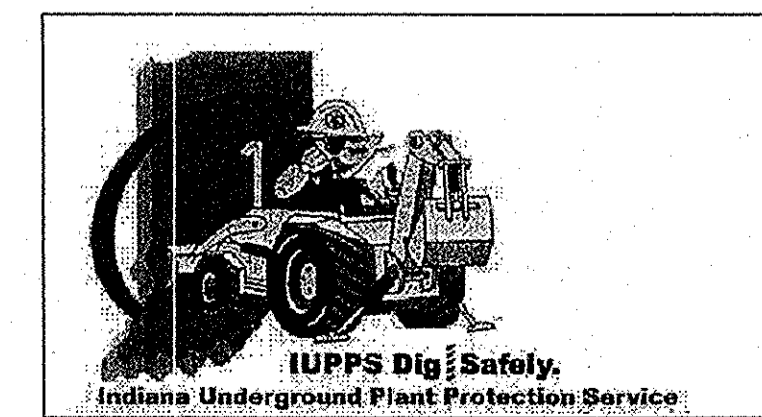
- B.L. Building Setback Line
- D&U.E. Drainage & Utility Easement
- D.U.&S.S.E. Drainage, Utility & Sanitary Sewer Easement
- H.P. High Point
- L.P. Low Point
- GRD. CHG. Grade Change
- M.E. Match Existing
- SSD TO LOT
- RISER TC
- 6" SSD (SEE SUMP PLAN SHEETS C605-C606 FOR MORE DETAILS)
- ADA RAMP (SEE DETAIL SHT. C803)

**OFFSITE GRADING AREA**  
 OFFSITE GRADING AREA IS FOR EARTHWORK PURPOSES ONLY. FUTURE SECTION 10 EARTHWORK IS TO BE COMPLETED SIMULTANEOUSLY WITH SECTION 9. FILLS ARE TO BE PLACED PER THIS PLAN AND TEMPORARY DIVERSION SWALES ARE TO BE CONSTRUCTED TO TEMPORARILY DRAIN THIS FUTURE SECTIONS AS SHOWN.

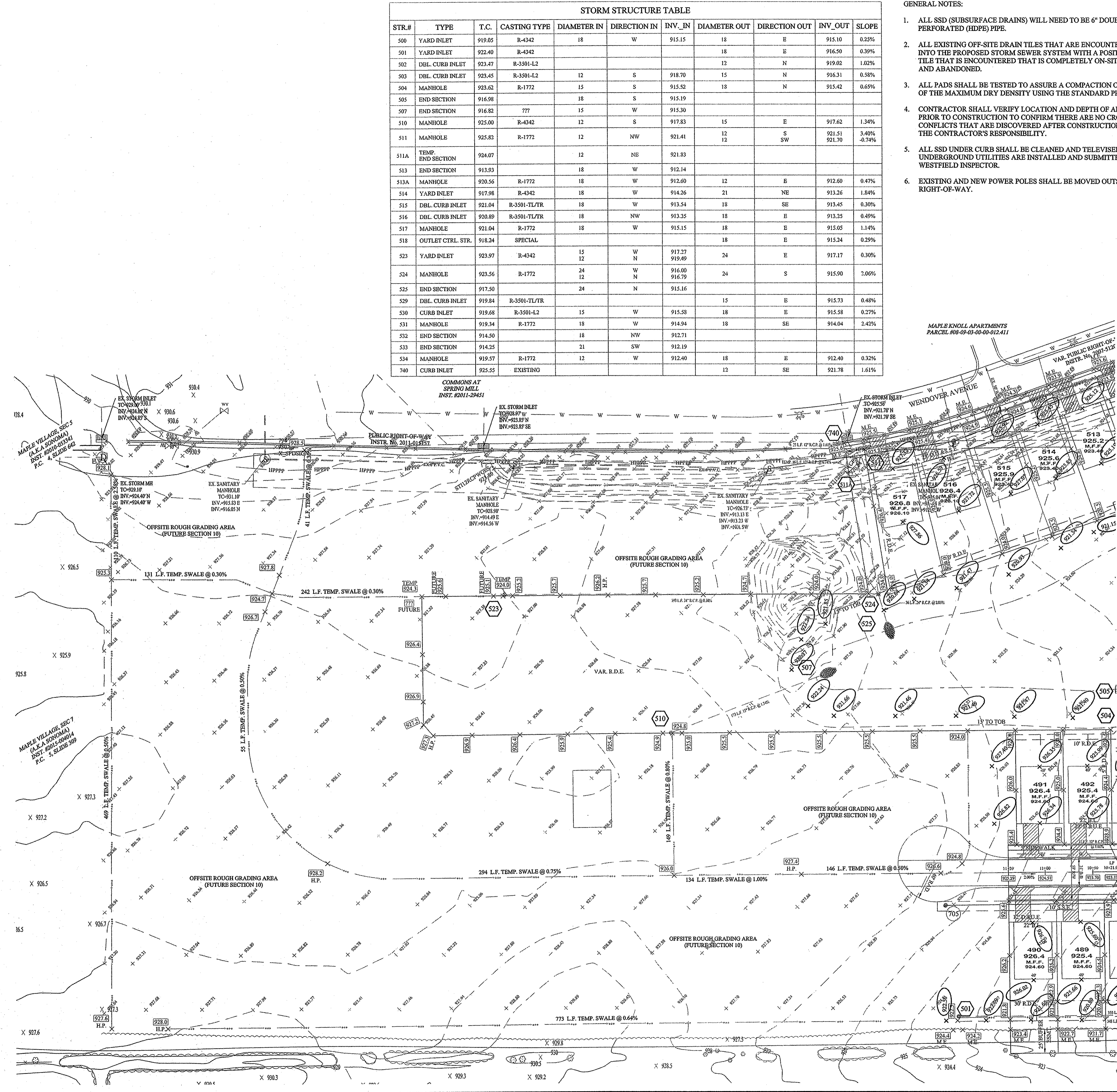
**UTILITY CROSSINGS**  
 CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION TO CONFIRM THERE ARE NO CROSSING CONFLICTS. CONFLICTS THAT ARE DISCOVERED AFTER CONSTRUCTION BEGINS ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY.

RECORD DRAWING

Dennis D. Olmstead  
 Registered Land Surveyor  
 No. 900012  
 5/19/2016



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 Know what's below.  
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File Name: S:\50690PLA-S9-10DWG\C200 - Site Development Plan.dwg - C201  
 May 19, 2016 12:07 PM / cesposito  
 Modified / By:  
 Plotted / By:

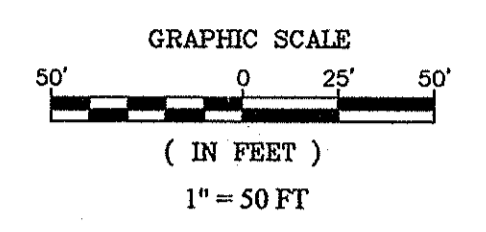
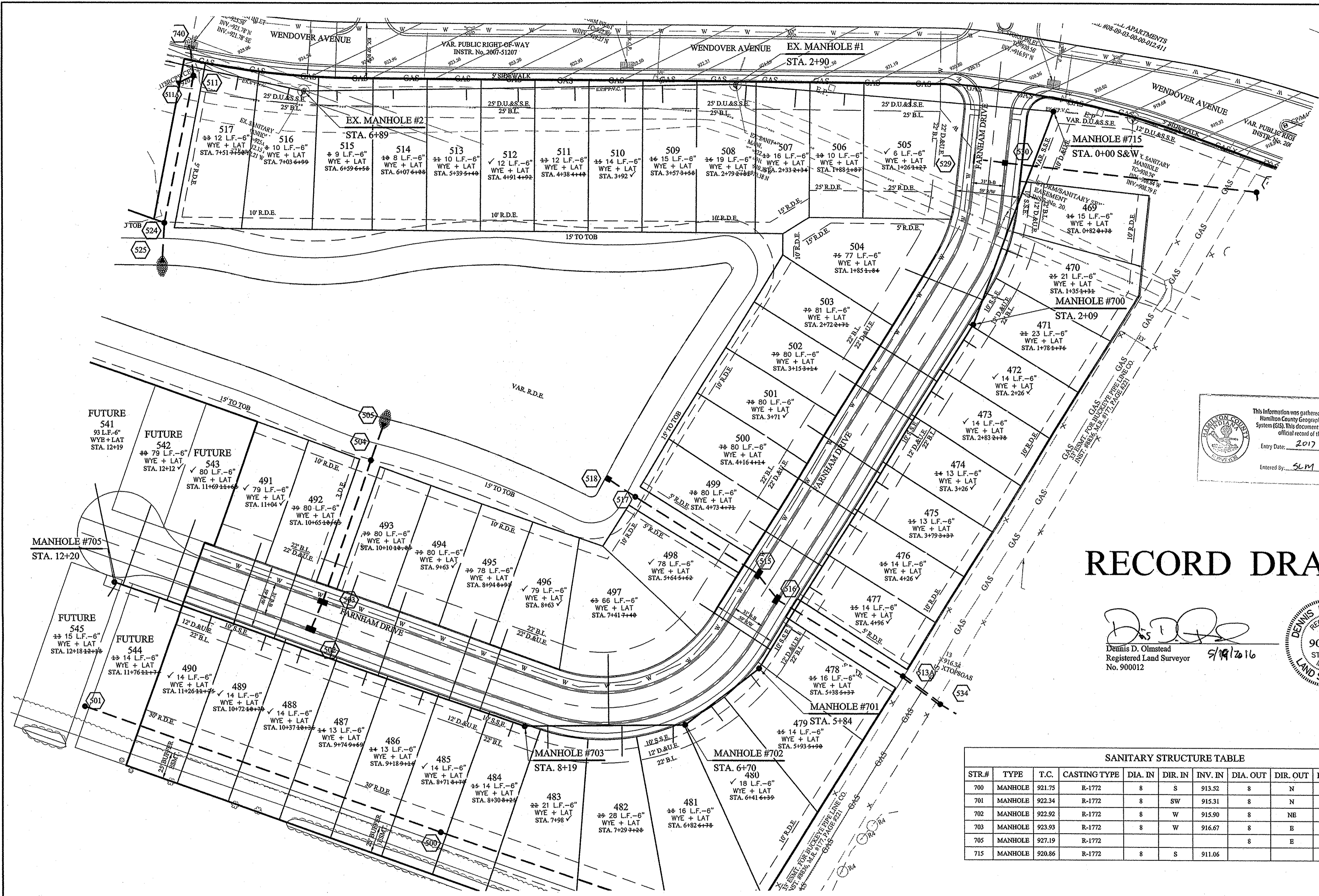
THIS DRAWING IS NOT INTENDED TO BE REPRESENTED AS A PROFESSIONAL ENGINEER SURVEY OR A SURVEYOR'S LOCATION REPORT.

DAVID J. STOEPPELWERTH  
 REGISTERED PROFESSIONAL ENGINEER  
 No. 19358  
 STATE OF INDIANA  
 CERTIFIED: 07/02/2015  
 David J. Stoepelwerth

**STOEPPELWERTH**  
 ALWAYS ON  
 7945 East 10th Street, Fishers, IN 46038-2505  
 phone: 317.846.5955 fax: 317.846.5942

**SITE DEVELOPMENT PLAN**  
**SONOMA SECTION 9**  
 WESTFIELD, HAMILTON COUNTY, INDIANA

DRAWN BY: ADG CHECKED BY: BAH  
 SHEET NO. **C201**  
 S & A JOB NO. 50690PLA-S9



- LEGEND**
- EXISTING SANITARY SEWER
  - EXISTING STORM SEWER
  - PROPOSED SANITARY SEWER
  - ▲— PROPOSED STORM SEWER
  - w— PROPOSED WATER LINE

- NOTES**
1. MIN. SLOPES PER THE TEN STATE STANDARDS SHALL PREVAIL IN ALL CASES.
  2. CONTRACTOR SHALL EXTEND SEWER LATERALS TO A POINT NO LESS THAN 5' AND NO GREATER THAN 7' FROM BUILDING LINE AS SHOWN. A LOCATE WIRE TO BE RUN ALONG ENTIRE LENGTH OF ALL LATERALS.
  3. CONTRACTOR SHALL INSTALL LATERAL NO GREATER THAN 6' BELOW PAD GRADE AT LATERAL END.
  4. MANHOLE STRUCTURES TO BE CONSTRUCTED TO REQUIRE ONE-4" RISER RING NO MORE, NO LESS TO MEET PLAN T.C. GRADE.
  5. ALL ROAD CROSSING MUST BE FULL DEPTH GRANULAR BACKFILL.
  6. SANITARY SEWERS ARE NOT WITHIN 100' OF WATER WELLS.

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 Entry Date: 2017  
 Entered By: SLM

# RECORD DRAWING

*D. D. Olmstead*  
 Dennis D. Olmstead  
 Registered Land Surveyor  
 No. 900012

*Dennis D. Olmstead*  
 REGISTERED  
 No. 900012  
 STATE OF INDIANA  
 LAND SURVEYOR

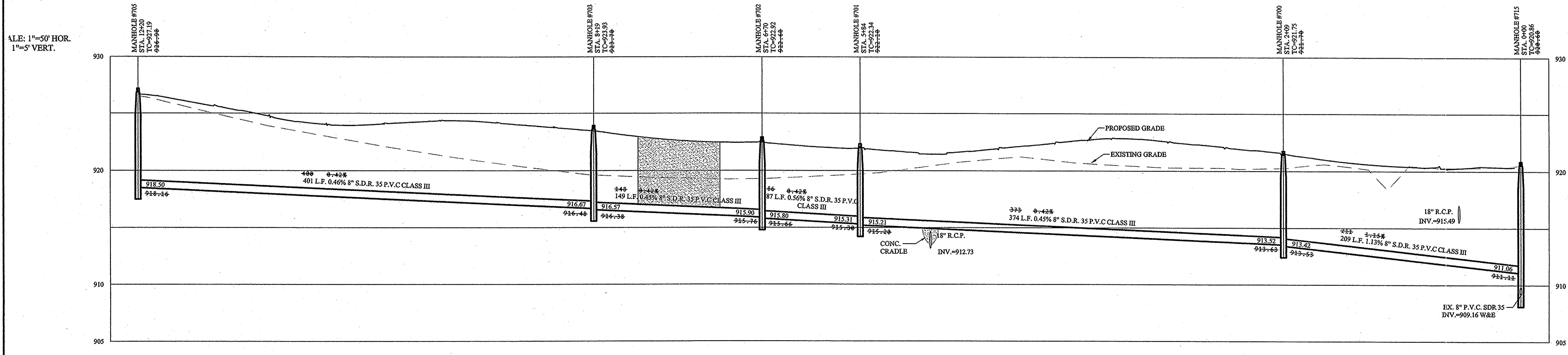
DENOTES FULL DEPTH GRANULAR BACKFILL

**SANITARY STRUCTURE TABLE**

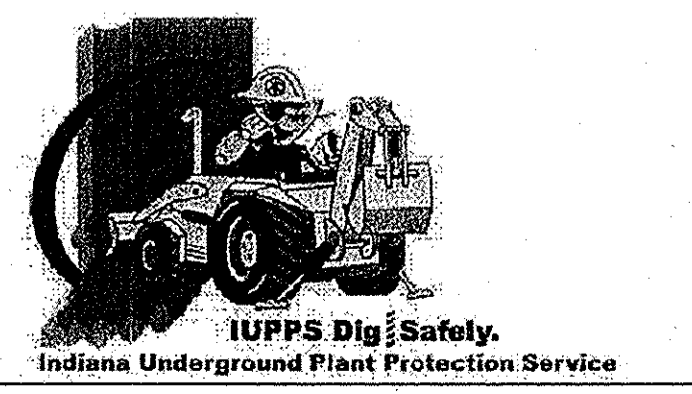
STR.#	TYPE	T.C.	CASTING TYPE	DIA. IN	DIR. IN	INV. IN	DIA. OUT	DIR. OUT	INV. OUT	SLOPE
700	MANHOLE	921.75	R-1772	8	S	913.52	8	N	913.42	1.13%
701	MANHOLE	922.34	R-1772	8	SW	915.31	8	N	915.21	0.45%
702	MANHOLE	922.92	R-1772	8	W	915.90	8	NE	915.80	0.56%
703	MANHOLE	923.53	R-1772	8	W	916.67	8	E	916.57	0.45%
705	MANHOLE	927.19	R-1772	8	W	916.67	8	E	918.50	0.46%
715	MANHOLE	920.86	R-1772	8	S	911.06	8	S	911.06	0.46%

**SANITARY PIPE TABLE**

NAME	SIZE	LENGTH	SLOPE	MATERIAL
701-700	8"	374.32'	0.45%	S.D.R. 35 P.V.C.
702-701	8"	86.69'	0.56%	S.D.R. 35 P.V.C.
703-702	8"	148.81'	0.45%	S.D.R. 35 P.V.C.
705-703	8"	401.30'	0.46%	S.D.R. 35 P.V.C.
700-715	8"	209.36'	1.13%	S.D.R. 35 P.V.C.



**811**  
 Know what's below.  
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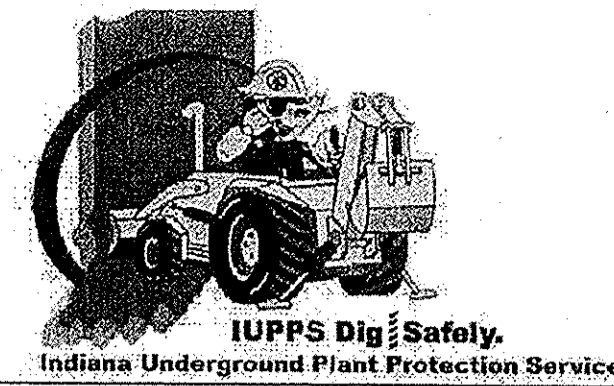


WESTFIELD  
 HAMILTON COUNTY, INDIANA  
 ALWAYS ON  
 7965 East 16th Street, Fishers, IN 46038-2005  
 phone: 317.849.5945 fax: 317.849.5942  
**STOEPPELWERTH**  
 REGISTERED PROFESSIONAL ENGINEER  
 No. 19358  
 STATE OF INDIANA  
 David J. Stoepfelwerth  
 CERTIFIED: 07/02/2015  
 THIS DRAWING IS NOT INTENDED TO BE REPRESENTED AS A RETACEMENT OR SURVEY OR A SURVEYOR LOCATION REPORT.

REVISIONS  
 DATE  
 MARK  
 BY  
 CCE

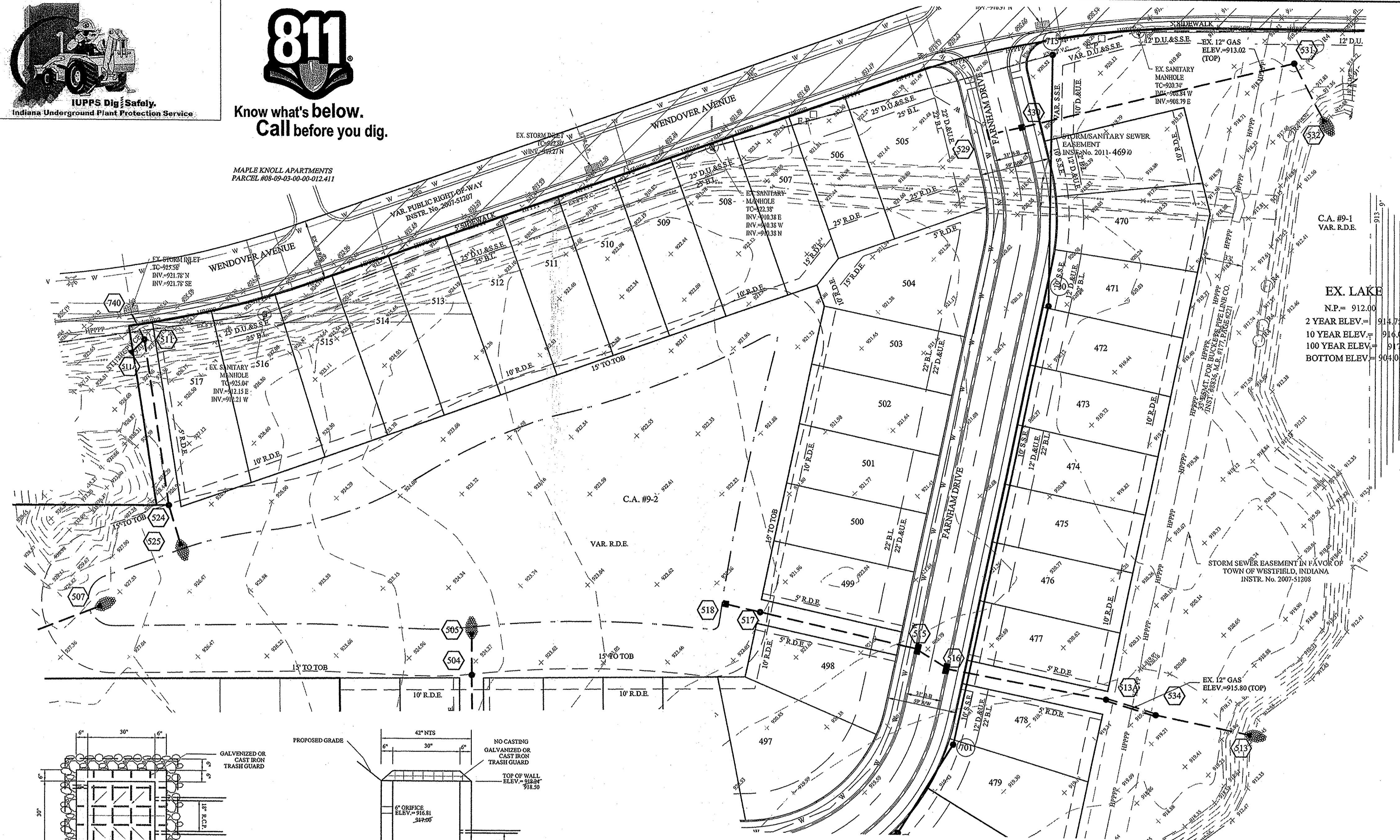
DRAWN BY: ADG  
 CHECKED BY: BAH  
 SHEET NO.  
**C500**  
 S. 4509PLA-S9  
 50690PLA-S9

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 Modified / By: May 19, 2016 12:50:03 PM / cesposito  
 Plotted / By: May 19, 2016 2:27:38 PM / Christian Esposito



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MAPLE KNOLL APARTMENTS  
PARCEL #08-09-03-00-012.411



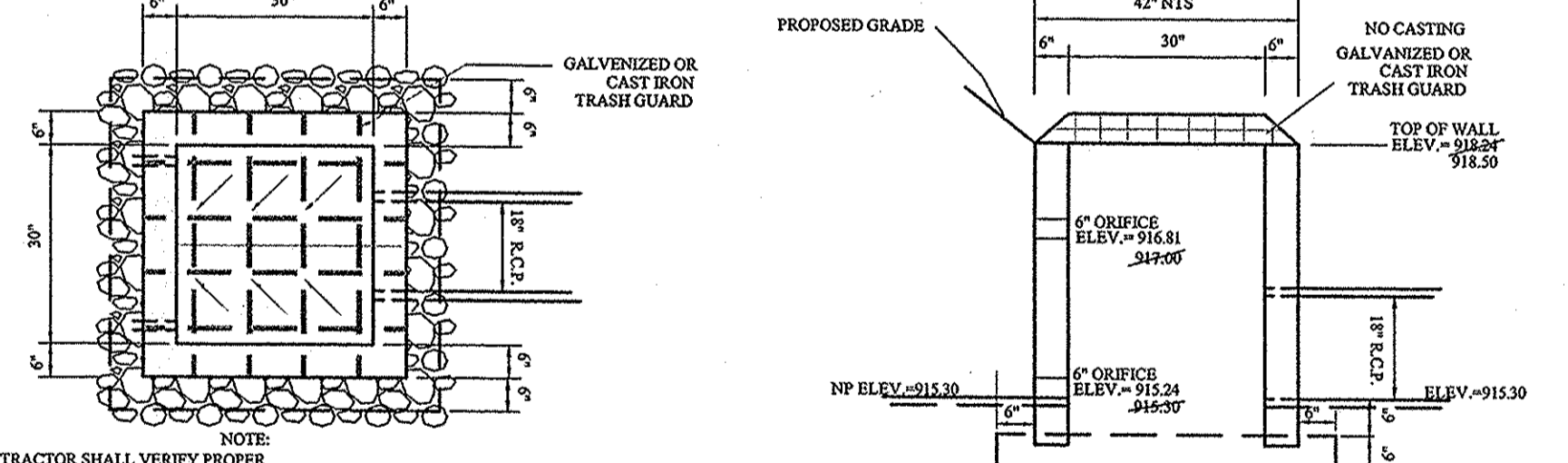
- LEGEND**
- (S)— EXISTING SANITARY SEWER
  - (S)— EXISTING STORM SEWER
  - (S)— PROPOSED SANITARY SEWER
  - (S)— PROPOSED STORM SEWER
  - (S)— PROPOSED WATER LINE



- NOTES:**
- ALL STORM STRUCTURES TO RECEIVE SOLID LID CASTINGS ARE TO BE CONSTRUCTED TO PROVIDE ONE 4" RISER RING NO MORE, NO LESS TO ACHIEVE PLAN RIM GRADE.
  - ALL YARD INLETS ARE TO BE CONSTRUCTED AT A TOLERANCE OF +0.00' TO -0.20' OF PLAN GRADE.
  - ALL STORM SEWER CASTINGS SHALL BE LABELED "DUMP NO WASTE-DRAINS TO WATERWAY"
  - ALL STORM CROSSINGS IN RIGHT OF WAY WITH LESS THAN 30" COVER TO FINISH PAVEMENT GRADE WILL BE BACKFILLED WITH #6 STONE.
  - ALL SSD'S (SUBSURFACE DRAINS) WILL NEED TO BE 6" DOUBLE WALL SMOOTH BORE PERFORATED (HDPE) PIPE. DEBRIS GUARDS ARE TO BE INSTALLED ON ALL OPEN ENDED INLETS.
  - ALL STORM TO BE CLEANED AND TELEVISED AFTER ALL UNDERGROUND UTILITIES ARE INSTALLED.
  - STORM STRUCTURES DEEPER THAN 4' MUST BE ACCESSIBLE WITH STEPS.
  - ALL BEEHIVE CASTINGS ON A 2'x2' BOX SHALL HAVE A SQUARE RISER WITH A ROUND HOLE.

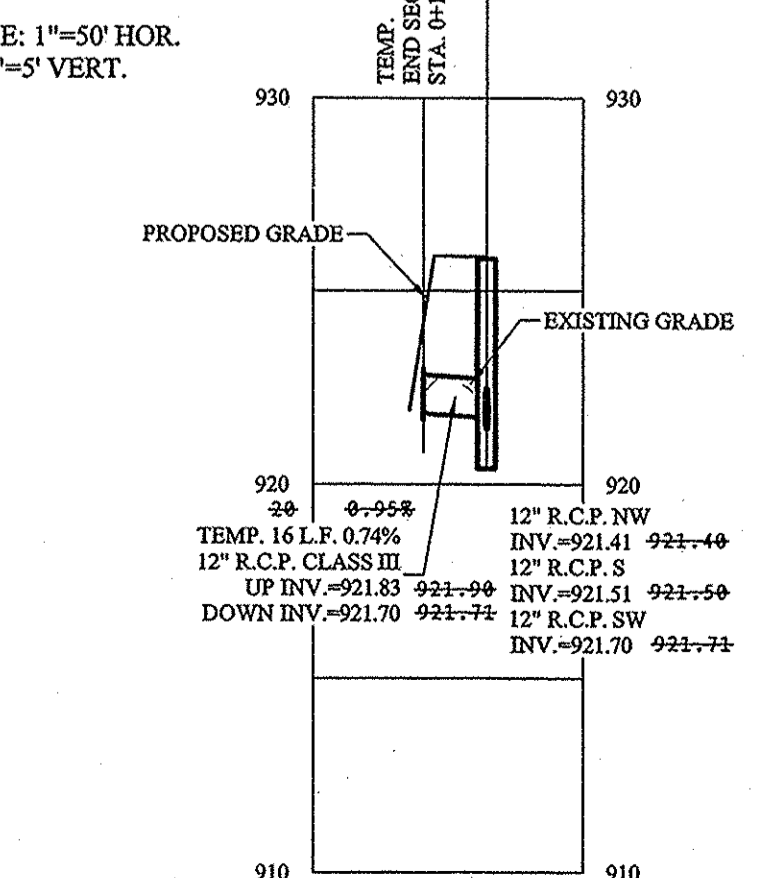
**EX. LAKE**  
 N.P. = 912.00  
 2 YEAR ELEV. = 914.75  
 10 YEAR ELEV. = 916.00  
 100 YEAR ELEV. = 917.60  
 BOTTOM ELEV. = 904.00

SCALE: 1"=50' HOR.  
1"=5' VERT.

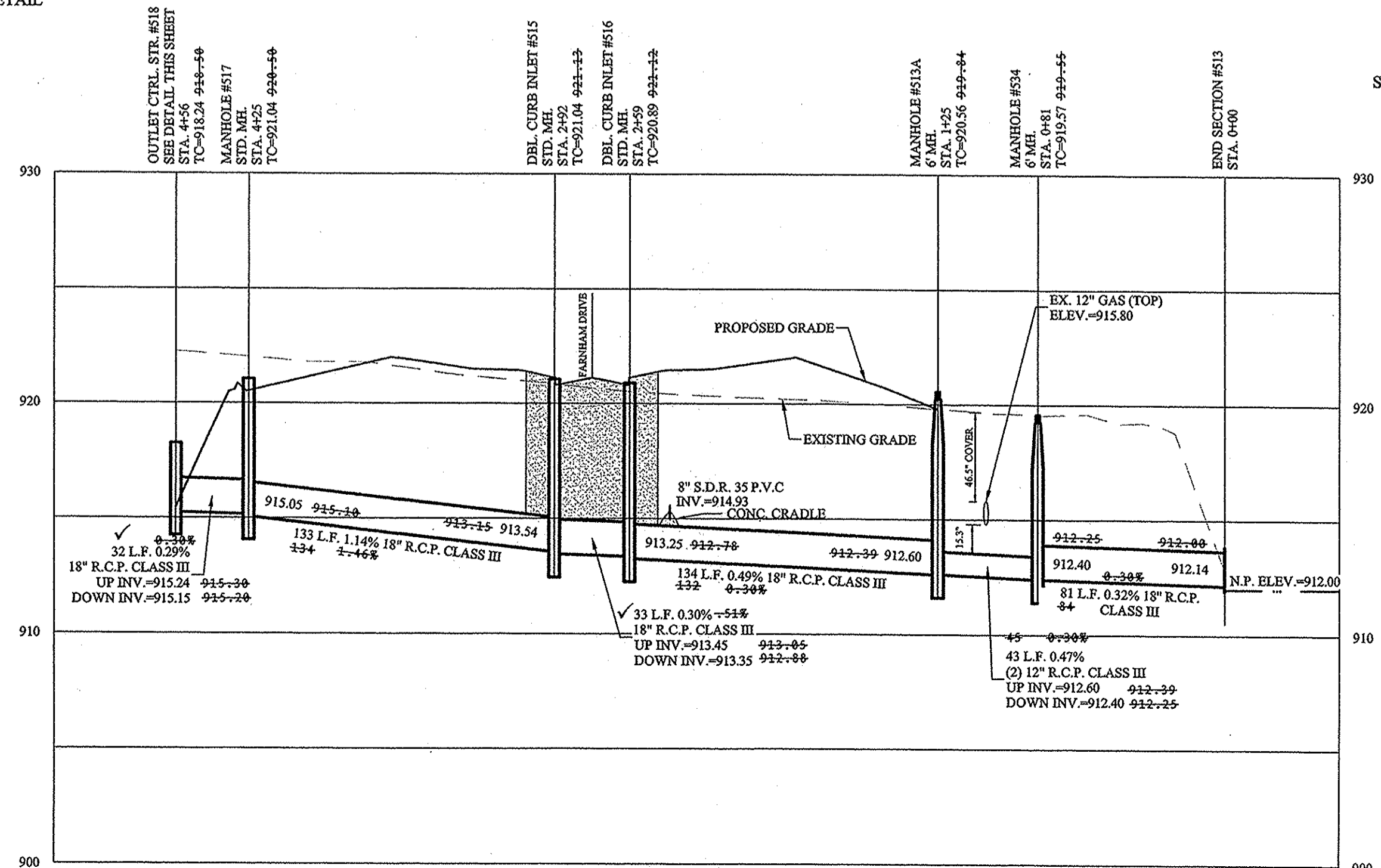


CONTRACTOR SHALL VERIFY PROPER METHOD OF ATTACHING TO OUTLET STRUCTURE PRIOR TO FABRICATION & INSTALLATION

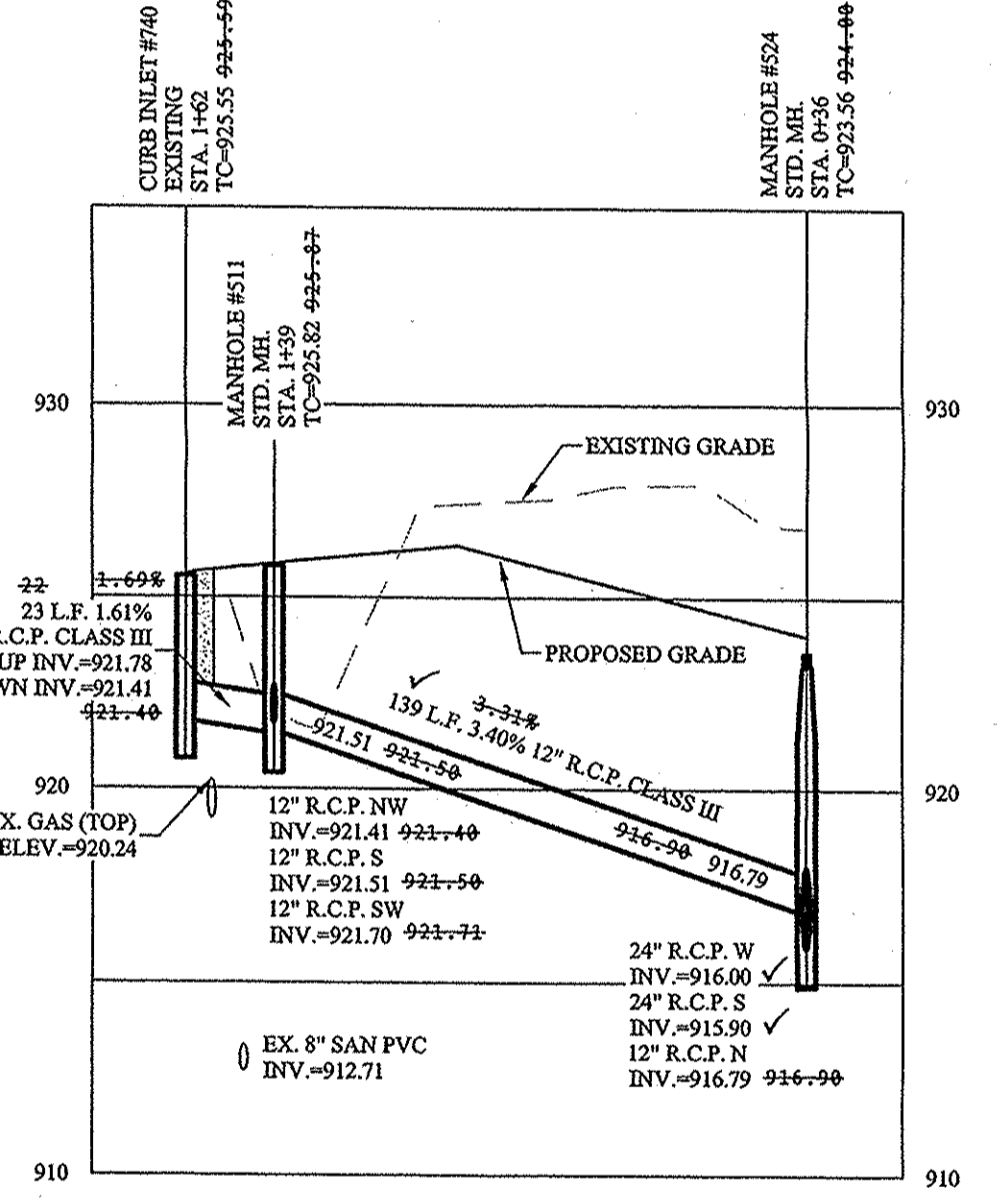
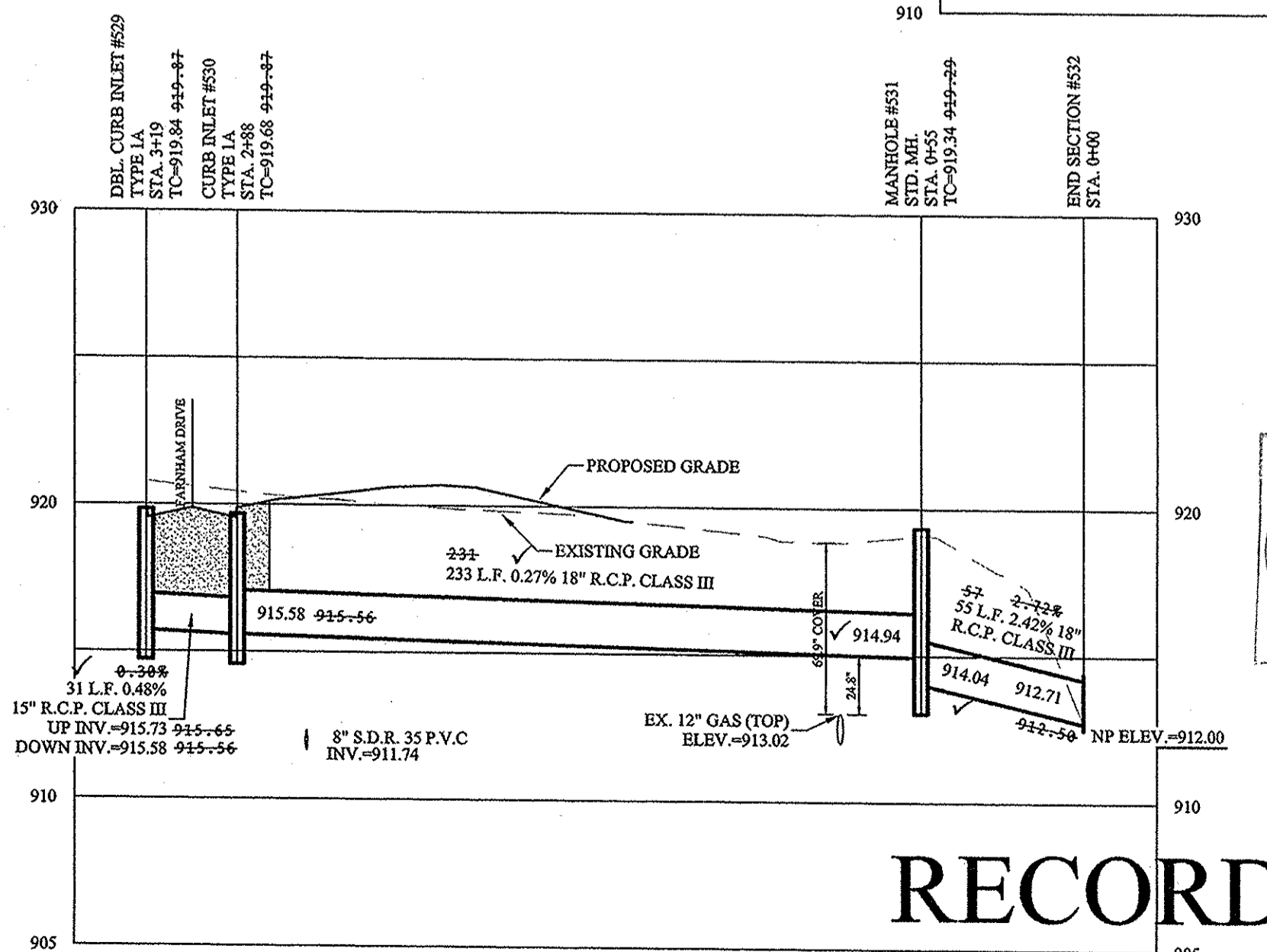
OUTLET CONTROL STRUCTURE #18 DETAIL  
NOT TO SCALE



SCALE: 1"=50' HOR.  
1"=5' VERT.



SCALE: 1"=50' HOR.  
1"=5' VERT.



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 Entry Date: 2017  
 Entered By: SLM

**RECORD DRAWING**

*D.O.*  
 Dennis D. Olmstead  
 Registered Land Surveyor  
 No. 900012  
 9/2/2016



DATE	MARK	BY
05/03/16		AS BUILTS
10/30/15		REVISOR PER HCO REVIEW COMMENTS
09/30/15		REVISOR PER BUCKEYE COMMENTS

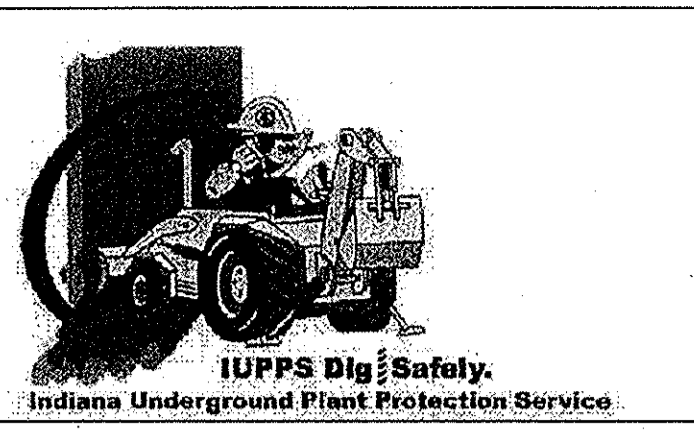
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*David J. Stoepelwerth*  
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 STATE OF INDIANA

**STOEPPELWERTH**  
 ALWAYS ON  
 7955 Etn 106th Street, Fishers, IN 46038-2805  
 phone: 317-849-5935 fax: 317-849-5942

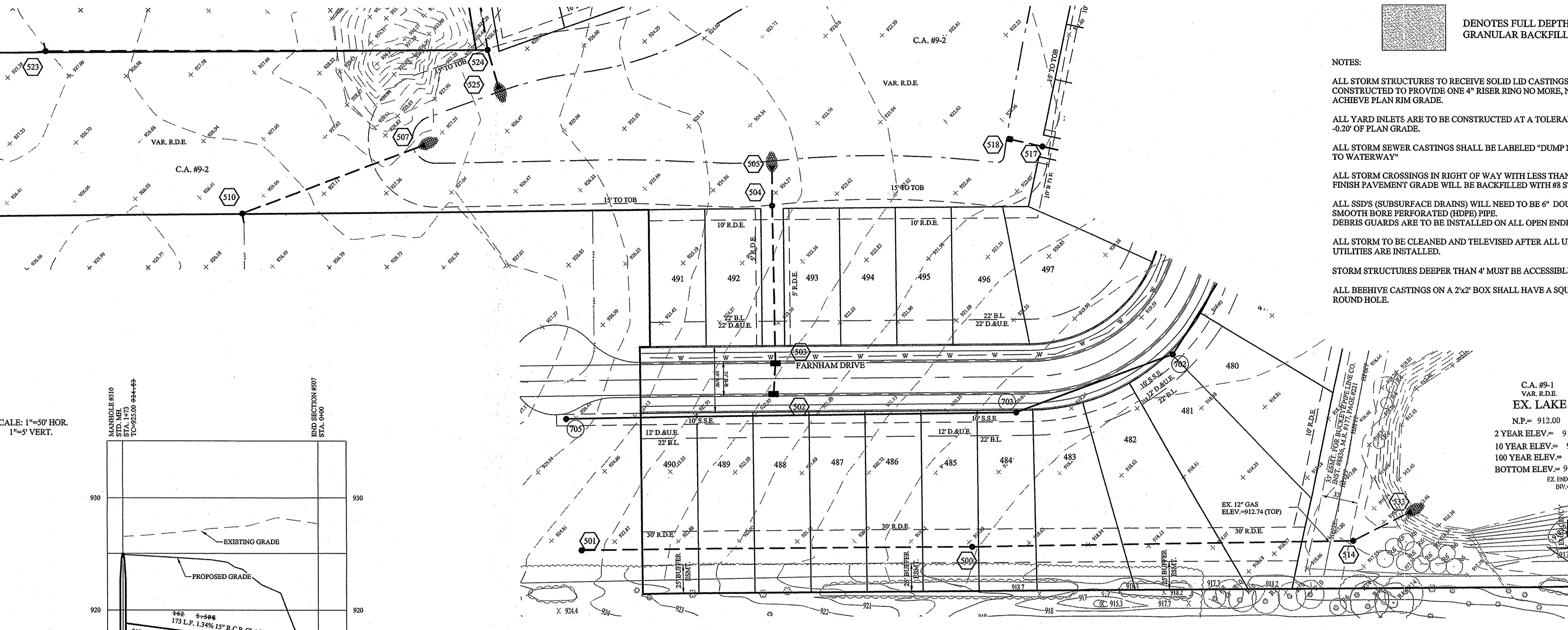
**STORM PLAN & PROFILE**  
**SONOMA**  
**SECTION 9**  
 HAMILTON COUNTY, INDIANA  
 WESTFIELD

DRAWN BY: ADG	CHECKED BY: BAH
SHEET NO. <b>C600</b>	
5 & A JOB NO. 50690PLA-S9	

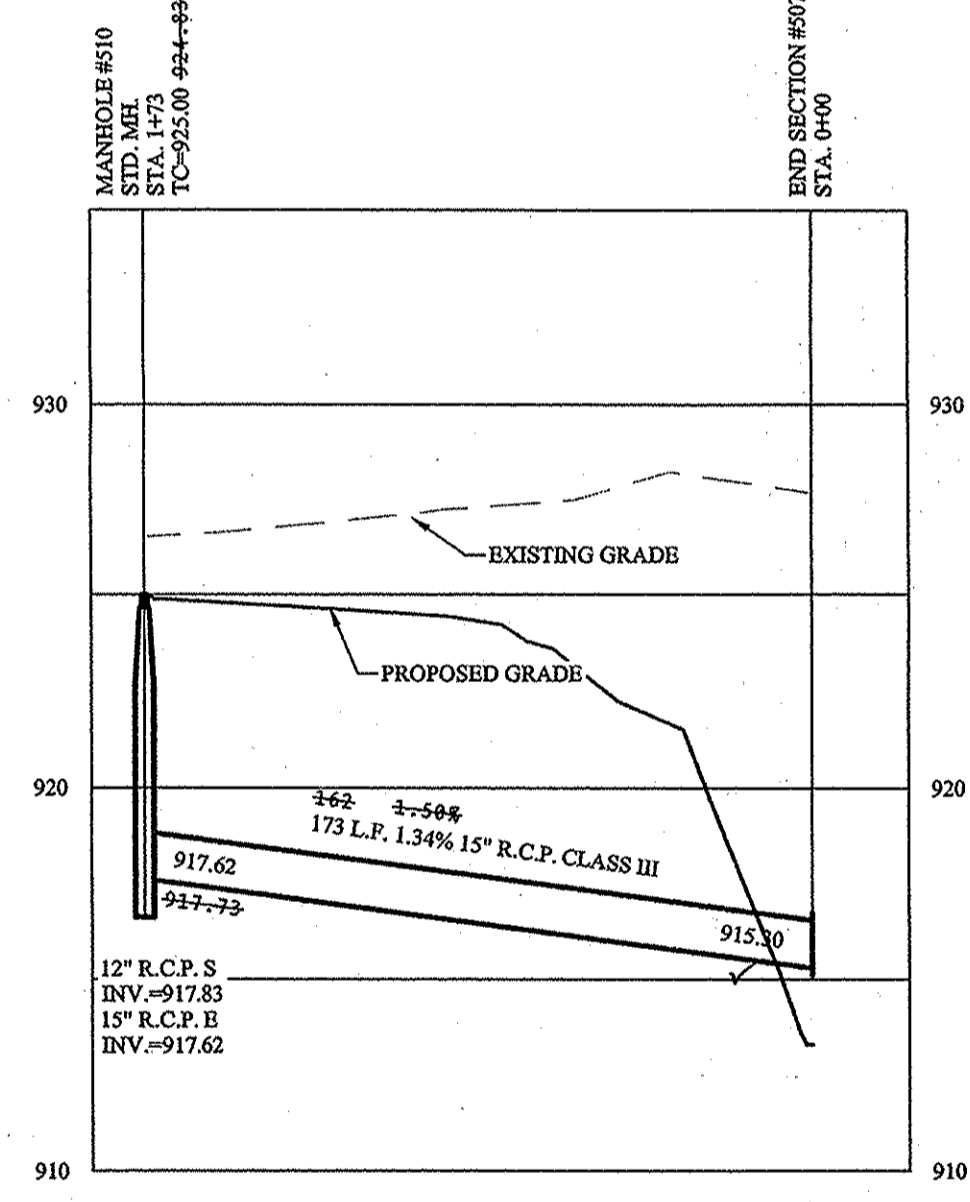
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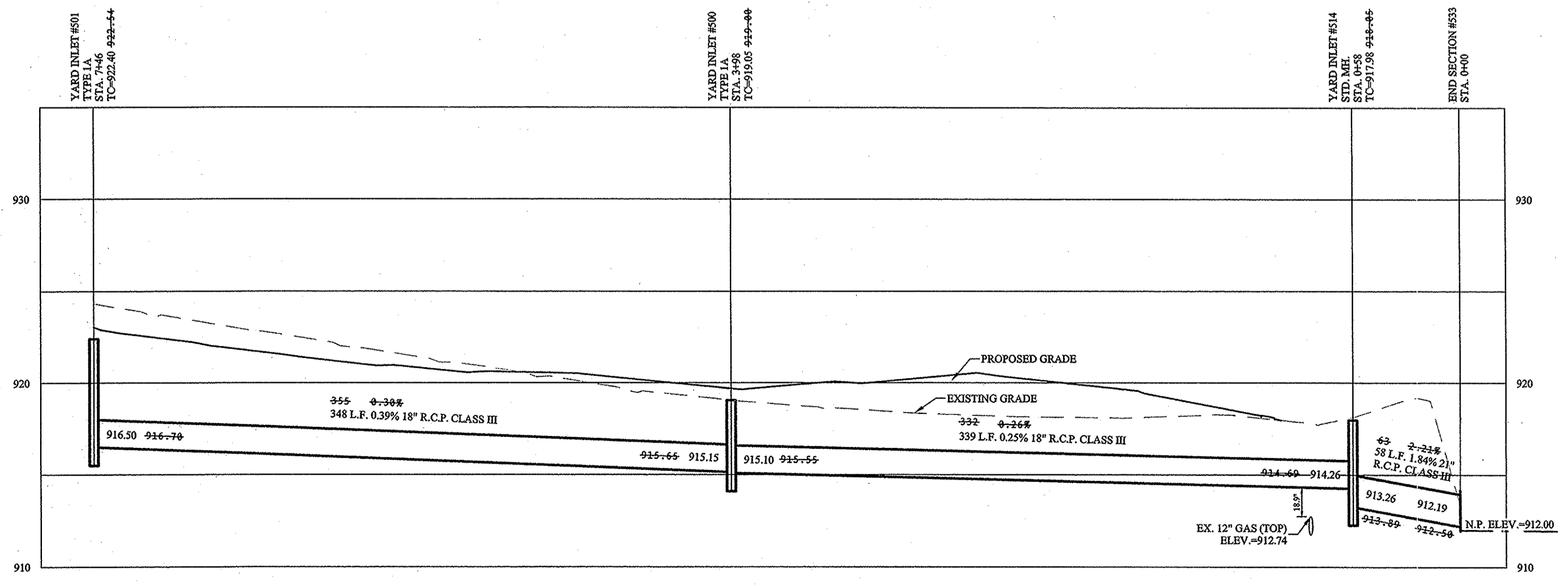
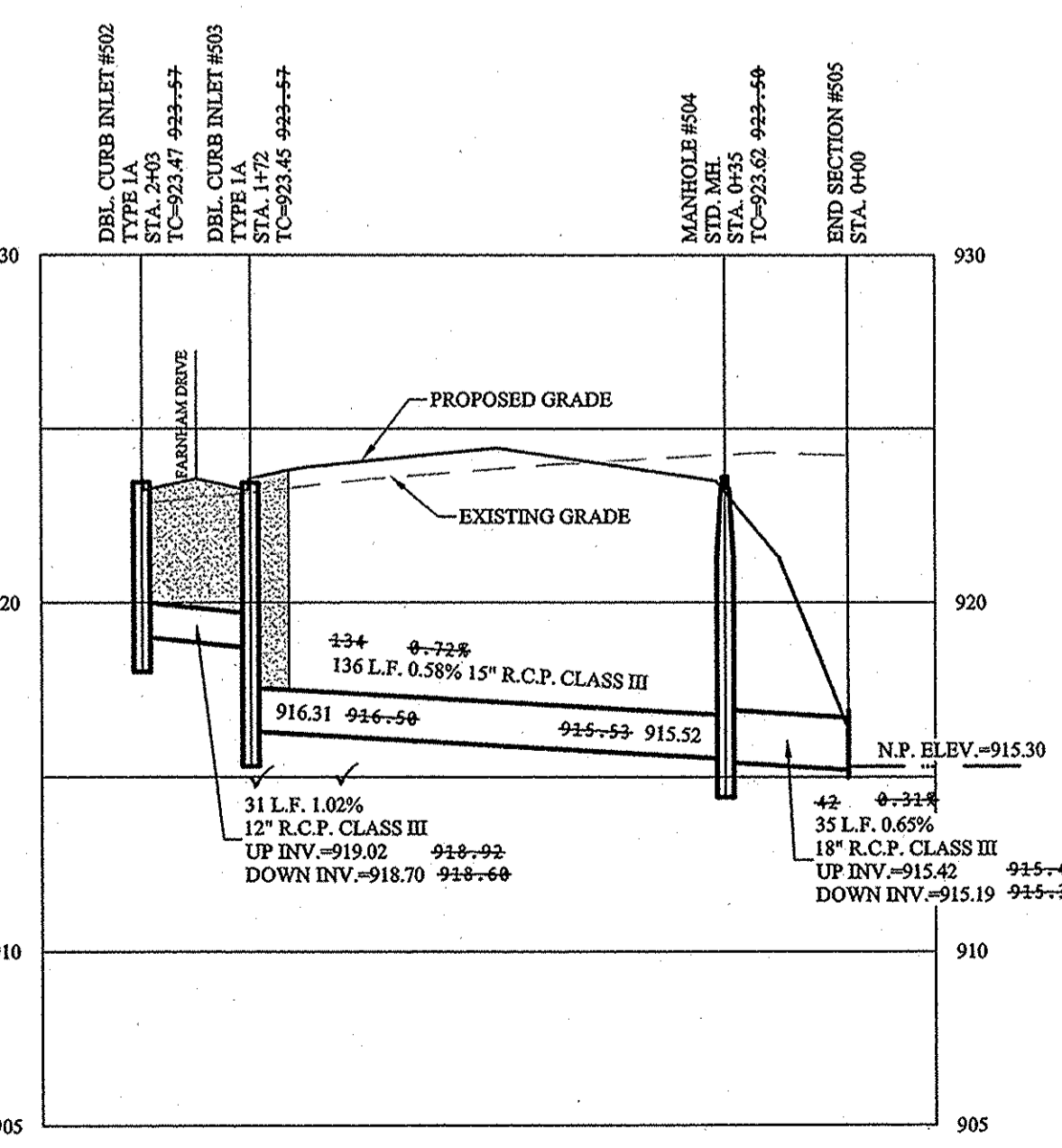
**811**  
Know what's below.  
Call before you dig.



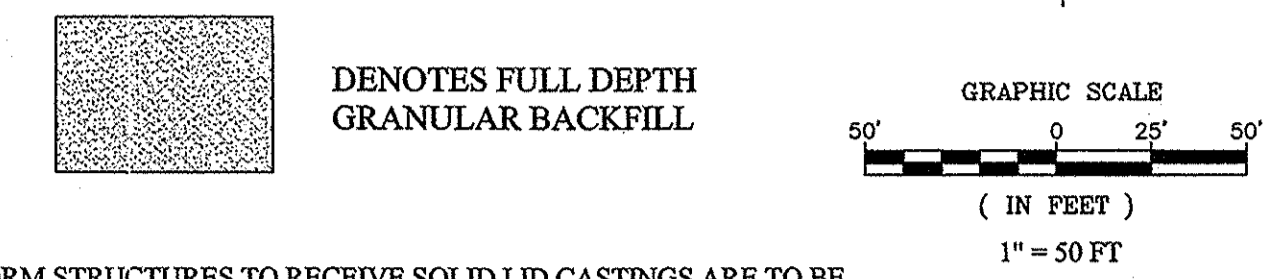
SCALE: 1"=50' HOR.  
1"=5' VERT.



SCALE: 1"=50' HOR.  
1"=5' VERT.



- LEGEND**
- EXISTING SANITARY SEWER
  - EXISTING STORM SEWER
  - PROPOSED SANITARY SEWER
  - PROPOSED STORM SEWER
  - W- PROPOSED WATER LINE



**NOTES:**

ALL STORM STRUCTURES TO RECEIVE SOLID LID CASTINGS ARE TO BE CONSTRUCTED TO PROVIDE ONE 4" RISER RING NO MORE, NO LESS TO ACHIEVE PLAN RIM GRADE.

ALL YARD INLETS ARE TO BE CONSTRUCTED AT A TOLERANCE OF +0.00" TO -0.20" OF PLAN GRADE.

ALL STORM SEWER CASTINGS SHALL BE LABELED "DUMP NO WASTE-DRAINS TO WATERWAY"

ALL STORM CROSSINGS IN RIGHT OF WAY WITH LESS THAN 30" COVER TO FINISH PAVEMENT GRADE WILL BE BACKFILLED WITH #3 STONE.

ALL SSD'S (SUBSURFACE DRAINS) WILL NEED TO BE 6" DOUBLE WALL SMOOTH BORE PERFORATED (HDPE) PIPE. DEBRIS GUARDS ARE TO BE INSTALLED ON ALL OPEN ENDED INLETS.

ALL STORM TO BE CLEANED AND TELEVIEWED AFTER ALL UNDERGROUND UTILITIES ARE INSTALLED.

STORM STRUCTURES DEEPER THAN 4' MUST BE ACCESSIBLE WITH STEPS.

ALL BEEHIVE CASTINGS ON A 2x2' BOX SHALL HAVE A SQUARE RISER WITH A ROUND HOLE.

C.A. #9-1  
VAR. R.D.E.  
EX. LAKE  
N.P.= 912.00  
2 YEAR ELEV.= 914.75  
10 YEAR ELEV.= 916.00  
100 YEAR ELEV.= 917.66  
BOTTOM ELEV.= 904.00  
EX. END SECTION -  
INV.=912.02 SE

This information was gathered for input into the Hamilton County Geographic Information System (GIS). This document is considered an official record of the GIS.  
Entry Date: 2017  
Entered By: SLM

**RECORD DRAWING**

Deamus D. Olmstead  
Registered Land Surveyor  
No. 900012  
5/19/2016



DATE	MARK	REVISIONS
05/03/16		AS BUILTS
07/01/15		REVISED PER BUCKET COMMENTS
		BY
		CCE

STOEPPELWERTH  
REGISTERED  
No. 19358  
STATE OF INDIANA  
PROFESSIONAL ENGINEER  
CERTIFIED: 07/02/2015  
David J. Stoepfelwerth

THIS DRAWING IS NOT INTENDED TO BE ORIGINAL BOUNDARY SURVEY, A ROUTE SURVEY OR A SURVEYOR LOCATION REPORT.

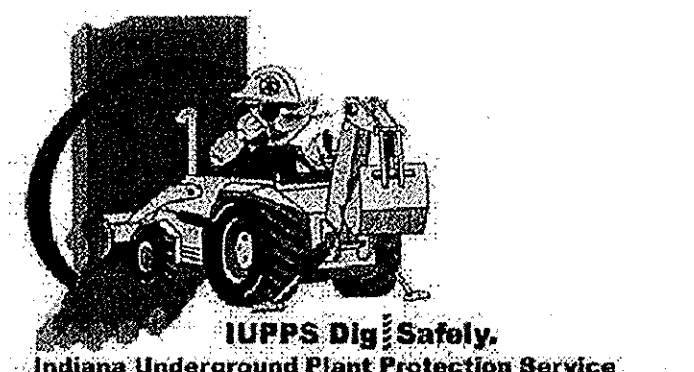
STORM PLAN & PROFILE  
SECTION 9  
HAMILTON COUNTY, INDIANA  
WESTFIELD

ALWAYS ON  
795 East 10th Street, Fishers, IN 46038-2595  
phone: 317.849.2935 fax: 317.849.5942

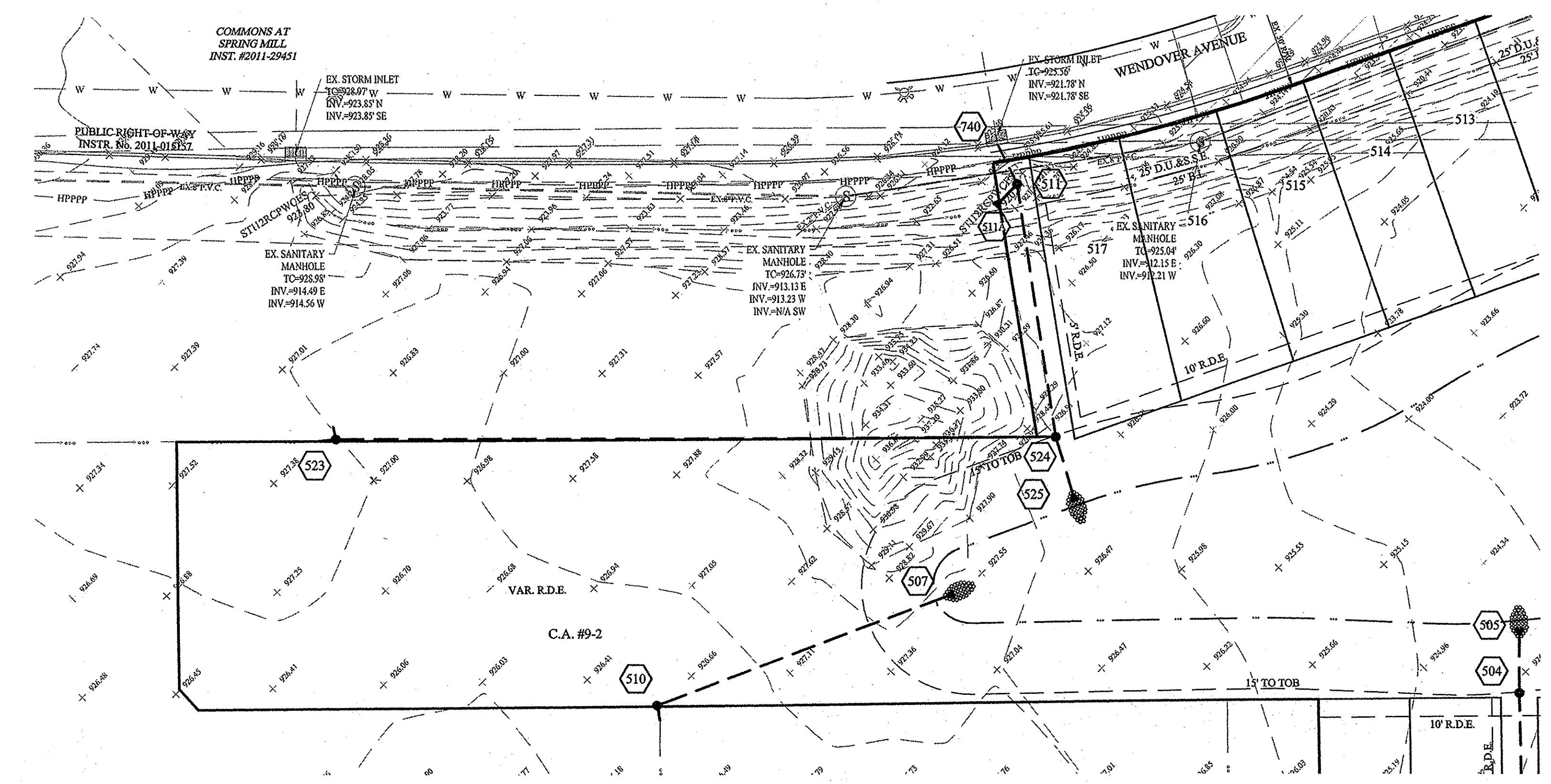
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CHECKED BY: BAH  
SHEET NO. C601  
S.A. JOB NO. 50690PLA-S9

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May 19, 2016 2:29:56 PM / cossipolo  
Modified / By:  
Plotted / By: Christian Espinosa





**811**  
Know what's below.  
Call before you dig.



**LEGEND**

- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- w— PROPOSED WATER LINE

■ DENOTES FULL DEPTH GRANULAR BACKFILL

GRAPHIC SCALE  
1" = 50 FT

**NOTES:**

ALL STORM STRUCTURES TO RECEIVE SOLID LID CASTINGS ARE TO BE CONSTRUCTED TO PROVIDE ONE 4" RISER RING NO MORE, NO LESS TO ACHIEVE PLAN RIM GRADE.

ALL YARD INLETS ARE TO BE CONSTRUCTED AT A TOLERANCE OF +0.00' TO -0.20' OF PLAN GRADE.

ALL STORM SEWER CASTINGS SHALL BE LABELED "DUMP NO WASTE-DRAINS TO WATERWAY"

ALL STORM CROSSINGS IN RIGHT OF WAY WITH LESS THAN 30" COVER TO FINISH PAVEMENT GRADE WILL BE BACKFILLED WITH #8 STONE.

ALL SSD'S (SUBSURFACE DRAINS) WILL NEED TO BE 6" DOUBLE WALL SMOOTH BORE PERFORATED (HDPE) PIPE. DEBRIS GUARDS ARE TO BE INSTALLED ON ALL OPEN ENDED INLETS.

ALL STORM TO BE CLEANED AND TELEVISED AFTER ALL UNDERGROUND UTILITIES ARE INSTALLED.

STORM STRUCTURES DEEPER THAN 4' MUST BE ACCESSIBLE WITH STEPS.

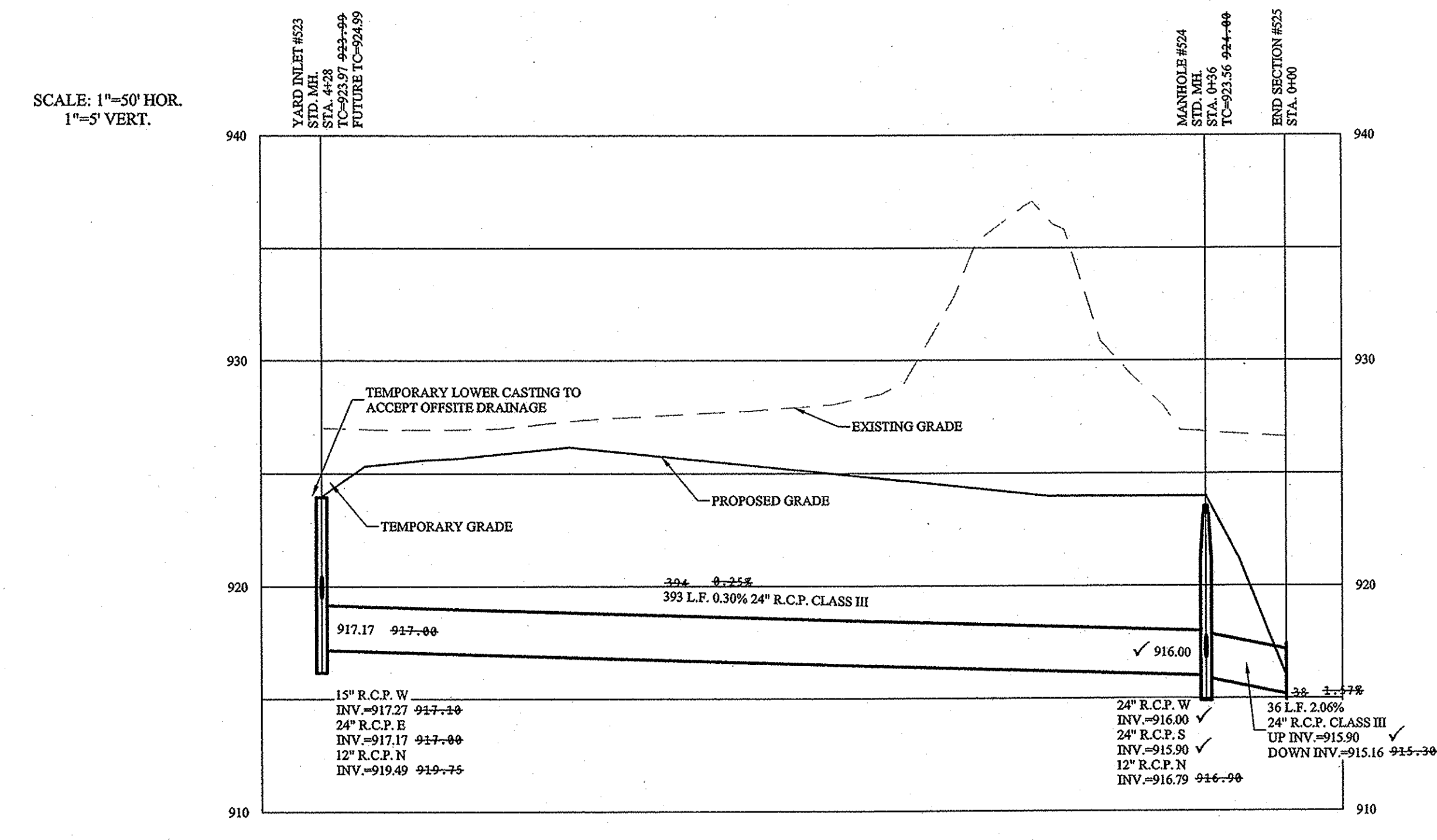
ALL BEEHIVE CASTINGS ON A 2'x2' BOX SHALL HAVE A SQUARE RISER WITH A ROUND HOLE.

THIS DRAWING IS NOT INTENDED TO BE REPRESENTED AS A REFERENCE IN ANY SURVEY OR A SURVEYOR LOCATION REPORT.

CERTIFIED: 07/02/2015

David J. Stoepelwerth

**STOEPPELWERTH**  
ALWAYS ON  
7955 East 106th Street, Fishers, IN 46038-2505  
Phone: 317.849.2935 Fax: 317.849.2942



This information was gathered for input into the Hamilton County Geographic Information System (GIS). This document is considered an official record of the GIS.

Entry Date: 2017

Entered By: SLM

**RECORD DRAWING**

D.D.O.  
Dennis D. Olmstead  
Registered Land Surveyor  
No. 900012

5/11/2016

DENNIS D. OLMSTEAD  
REGISTERED  
No. 900012  
STATE OF INDIANA  
LAND SURVEYOR

STORM PLAN & PROFILE

SONOMA SECTION 9

HAMILTON COUNTY, INDIANA

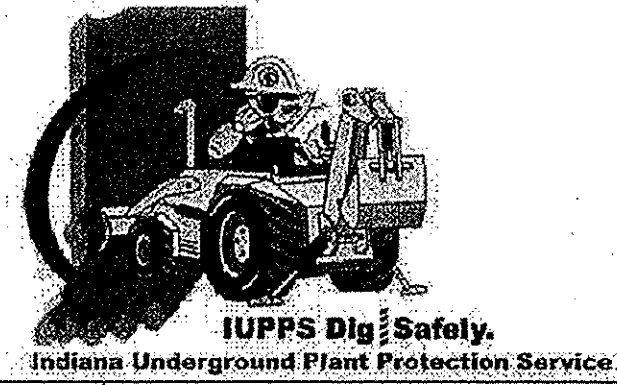
WESTFIELD

DRAWN BY: ADG CHECKED BY: BAH

SHEET NO. C602

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Modified / By:  
Plotted / By:



Know what's below.  
Call before you dig.

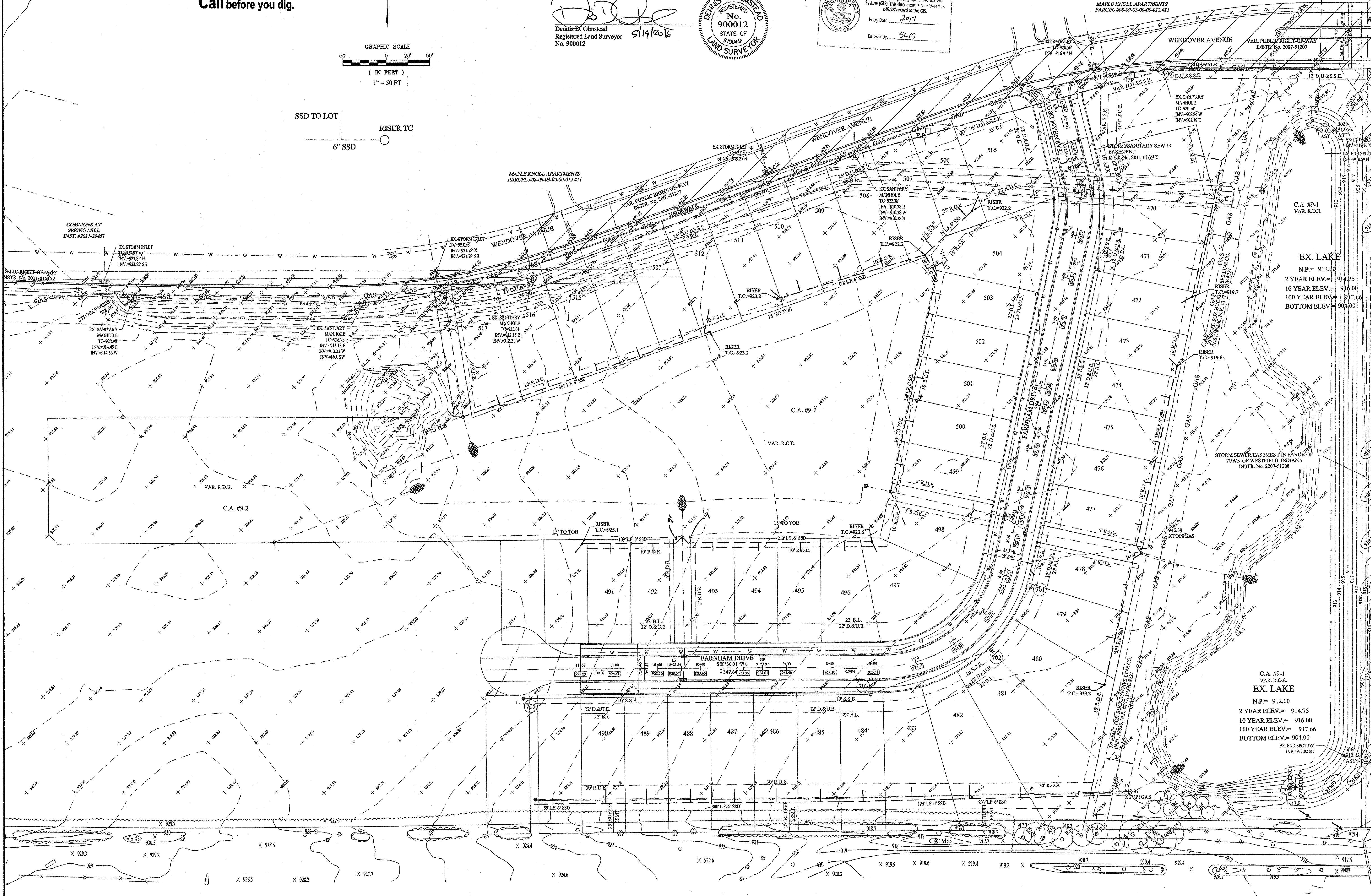
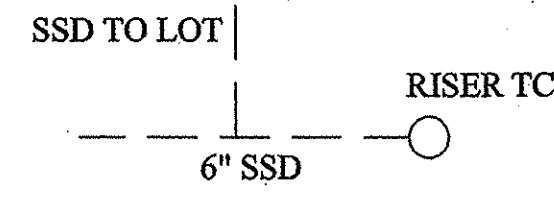
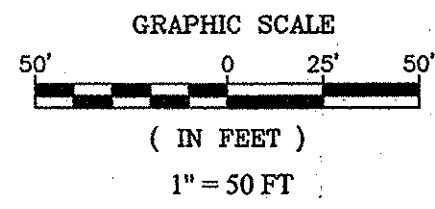
# RECORD DRAWING

Dennis D. Olmstead  
Registered Land Surveyor  
No. 900012  
5/19/2016



This information was gathered for input into the Hamilton County Geographic Information System (GIS). This document is considered an official record of the GIS.  
Entry Date: 2017  
Entered By: SLM

33' USMT. FOR BUCKEYE PIPE  
LINE CO. INST. #8836, M.R. #1177,  
PAGE #221



REGISTERED PROFESSIONAL ENGINEER  
No. 19358  
STATE OF INDIANA  
David J. Stoppelwerth  
CERTIFIED: 07/02/2015

STOEPPELWERTH  
ALWAYS ON  
7945 East 10th Street, Fishers, IN 46038-2505  
phone: 317.849.5905 fax: 317.849.5942



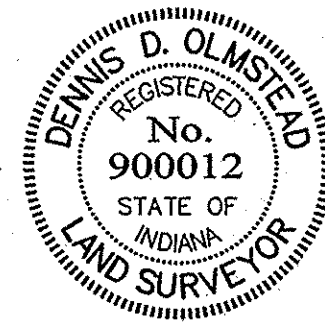
SUMP PLAN  
SONOMA  
SECTION 9

C603  
S.E.A. JOB NO.  
50690PLA-S9

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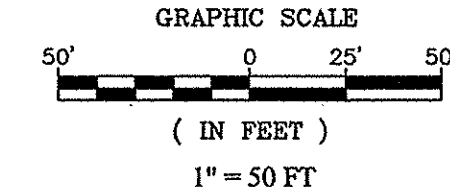
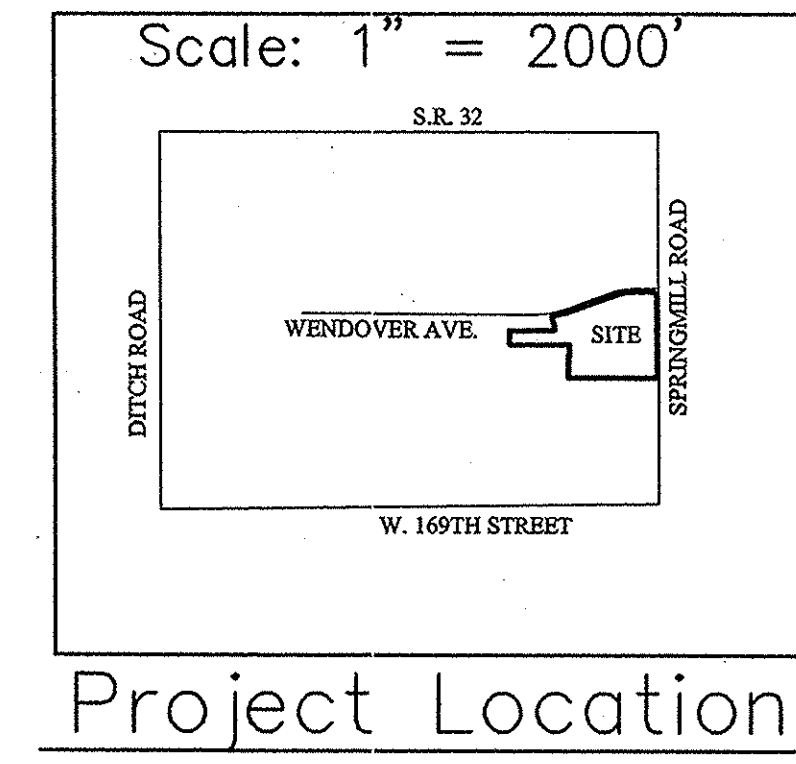
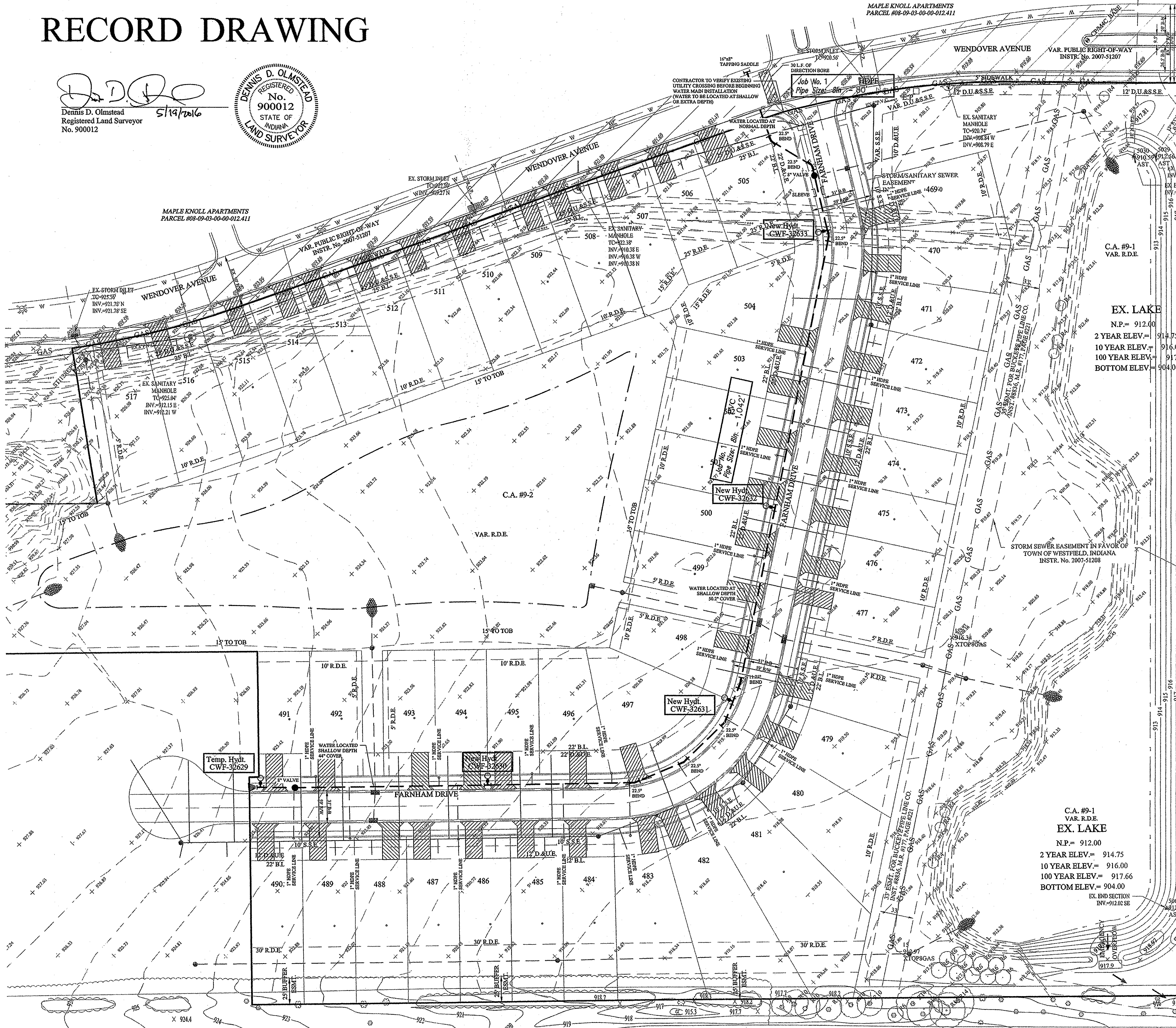
# RECORD DRAWING

*D.D.O.*  
 Dennis D. Olmstead  
 Registered Land Surveyor  
 No. 900012



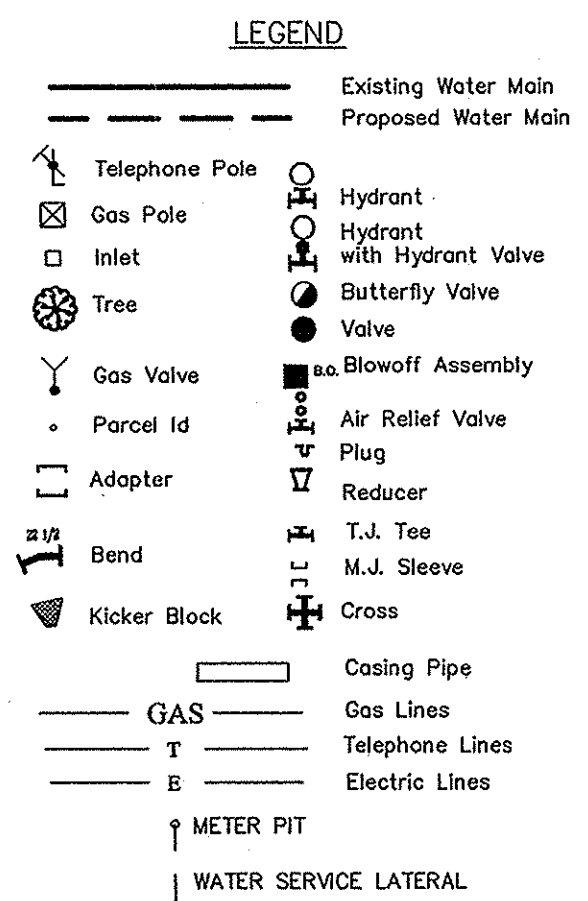
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 PARCEL #08-09-03-00-012-411

MAPLE KNOLL APARTMENTS  
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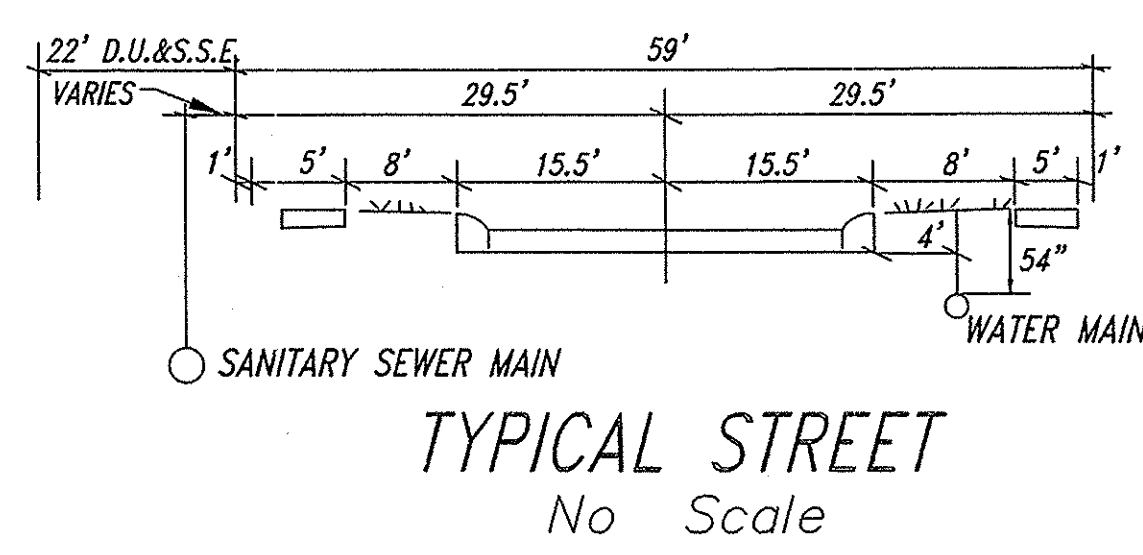


**NOTES:**

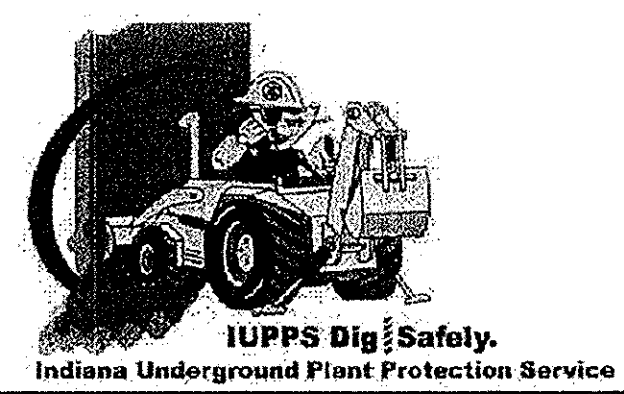
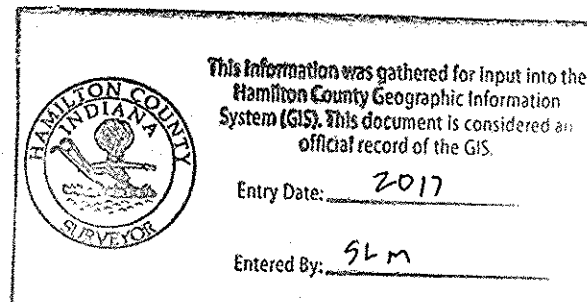
- CONTRACTOR MUST HAVE AND FOLLOW CITIZENS WESTFIELD AND CITIZENS WATER STANDARDS AND SPECIFICATIONS (LATEST VERSION)
- SEE WESTFIELD CONSTRUCTION STANDARDS AND SPECIFICATIONS FOR WATER DESIGN AND SEE CITIZENS WATER STANDARDS PRELIMINARY STANDARD PRACTICE AND ENGINEERING REQUIREMENTS FOR THE INSTALLATION OF WATER MAINS, SERVICE LINES, METERS AND APPURTENANCES LATEST VERSION.
- MINIMUM COVER OVER TOP OF ALL WATER MAINS TO BE 54" FROM FINISH GRADE.
- FIRE HYDRANTS SHALL HAVE A 5-INCH STORZ'S CONNECTION INSTALL.
- VALVES TO BE PLACED IN GRASS AREAS.
- ALL SERVICE AND MAIN ROAD CROSSINGS WITHIN 5' OF PAVEMENT SHALL HAVE GRANULAR BACKFILL.
- ALL HYDRANTS TO HAVE 2 COATS RED EPOXY PAINT, MUELLER F63RL 15
- VALVES MUST HAVE POSI-CAP - (W-6) (W-7) HYDRANT
- THE WATER MAIN MUST MAINTAIN A MINIMUM OF 10 FEET OF SEPARATION WITH THE SEWER MAIN AT ALL TIMES.



CITIZENS WATER PROJECT LEGEND					
Project Name: SONOMA, SECTION 9					
Project Number: WFJ-15-033					
JOB #	Street Name	Pipe Size	Pipe Type	Total Pipe	
1	FARNHAM DRIVE	8"	HDPE	107'	
1	FARNHAM DRIVE	8"	PVC	1,130'	
				<b>TOTAL</b>	<b>1,237'</b>
# of Service Lines					
6	SINGLE SERVICE LINE PIPE	1"	HDPE	223'	
15	DOUBLE SERVICE LINE PIPE	1"	HDPE	529'	



Project Name: SONOMA, SECTION 9  
 Project Number: WFJ-15-033  
 Dist. Map No.: 2225/2226  
 Meter Map No.:  
 Lots: 49  
 Tax Code: 29014  
 Pressure Dist: WESTFIELD  
 Drafter: STOEPPELWERTH/ADG/BAH  
 Date: 07/02/2015



HAMILTON COUNTY, INDIANA  
**STOEPPELWERTH**  
 ALWAYS ON  
 7905 East 10th Street, Fishers, IN 46038-2905  
 phone: 317.849.2995 fax: 317.849.5942  
**WATER PLAN**  
**SONOMA SECTION 9**  
 SHEET NO. **C700**  
 S & A JOB NO. 506990PLA-S9  
 DRAWN BY: ADG CHECKED BY: BAH  
 DATE: 04/04/16  
 AS BUILTS: 04/04/16  
 DATE MARK: 04/04/16  
 REVISIONS:

File Name: S:\506990PLA-S9-10DW\GIC700 - Water Plan.dwg - C700  
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